

1. Agenda

Documents:

[P\\_Z AGENDA APRIL 22, 2021.PDF](#)

2. Meeting Materials

Documents:

[P\\_Z PACKET APRIL 22, 2021.PDF](#)



## PLANNING & ZONING COMMISSION

Thursday, April 22, 2021 at 5:30 p.m.

City Hall, Council Chambers

201 E. Nash, Terrell, Texas 75160

### Agenda

**Chairman** Danny Stephens  
**Commissioner** Trini B Jones  
**Commissioner** Gabriel Cabrera  
**Commissioner** Joe Hood  
**Commissioner** Rosi Juarez

**Vice-Chairman** Jenny Heisel  
**Commissioner** Jorge Vargas  
**Commissioner** Stephanie Thomas  
**Commissioner** Garrett Carlisle

1. Call to Order.
2. Invocation
3. Welcome and swear in new Planning & Zoning commissioner Gabriel Cabrera.
4. Hear Remarks from Visitors.
5. Discuss and Consider approval of the Planning and Zoning Commission meeting minutes of February 25, 2021.

### ACTION ITEMS

#### 6. FP 21-02

Discuss and consider a Final Plat for the Guyton Addition, Lot 1 & 2, with Lot 1 being 3.51 acres and Lot 2 being 1.749 acres out of the J. W. Gardner Survey, Abstract No. 183, City Of Terrell ETJ, Kaufman County, Texas.

#### 7. FP 21-03

Discuss and consider a Final Plat for the Rios Addition, Lot 1 being 1.381 acres out of the Ransom Sowell Survey, Abstract No. 443, City Of Terrell ETJ, Kaufman County, Texas.

#### 8. FP 21-04

Discuss and consider a Final Plat for the Rona Addition, Lot 1 being 4-71 acres out of the D. McIver Survey, Abstract No. 331, City Of Terrell ETJ, Kaufman County, Texas.

#### 9. ZC 21-02

Conduct a public hearing to discuss and consider a change in zoning from Retail (R) to Single-Family Residential 7.5 (SF-7.5). The property is described as Lot C, Block 4, out of the Terrell Terrace Addition, City of Terrell, Kaufman County, Texas and is also known as 301 9th Street.

#### 10. PD 21-02

Conduct a public hearing to discuss and consider a zone change from Single-Family 7.5 (SF-7.5) to Planned Development Single-Family 7.5 (PD SF-7.5) to allow a planned residential development to be developed under certain Single-Family 6 (SF-6) requirements on 8.972 acres of Terrell Revised, Block 632, Lot 1 PT, City of Terrell, Kaufman County, Texas. The property is located on the southwest corner of North State Highway 34 and Rose St. The property is currently zoned Single-Family 7.5 (SF-7.5).

**11. PD 21-01**

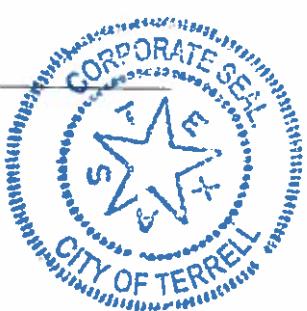
Conduct a public hearing to discuss and consider approval of an Ordinance for a Planned Development (HC) Mixed Use District on all of Block A, Lots 1,2,5, and 6 and Block B, Lot 2 out of Tanger Addition, City of Terrell, Kaufman County, Texas. Also, known as 301 Tanger Dr. The property is located south of Interstate Highway 20 and just east of Highway 34. The property is currently zoned Commercial (C).

**12. Discuss with the Planning & Zoning Commission a major update to the Sign Ordinance for the City of Terrell, Kaufman County, Texas**

**13. Adjourn**

**POSTED AT CITY HALL BULLETIN BOARD:** Monday, April 19, 2021 by 5:00 p.m.

ATTEST: Dawn Steil  
Dawn Steil, City Secretary





**Planning and Zoning Commission  
Thursday, April 22, 2021  
Regular Meeting**

5:30 p.m.  
City Hall Council Chambers  
201 E. Nash Street  
Terrell, Texas



## PLANNING & ZONING COMMISSION

Thursday, April 22, 2021 at 5:30 p.m.

City Hall, Council Chambers

201 E. Nash, Terrell, Texas 75160

### Agenda

**Chairman** Danny Stephens  
**Commissioner** Trini B Jones  
**Commissioner** Gabriel Cabrera  
**Commissioner** Joe Hood  
**Commissioner** Rosi Juarez

**Vice-Chairman** Jenny Heisel  
**Commissioner** Jorge Vargas  
**Commissioner** Stephanie Thomas  
**Commissioner** Garrett Carlisle

1. Call to Order.
2. Invocation
3. Welcome and swear in new Planning & Zoning commissioner Gabriel Cabrera.
4. Hear Remarks from Visitors.
5. Discuss and Consider approval of the Planning and Zoning Commission meeting minutes of February 25, 2021.

### ACTION ITEMS

#### 6. FP 21-02

Discuss and consider a Final Plat for the Guyton Addition, Lot 1 & 2, with Lot 1 being 3.51 acres and Lot 2 being 1.749 acres out of the J. W. Gardner Survey, Abstract No. 183, City Of Terrell ETJ, Kaufman County, Texas.

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#### 8. FP 21-04

Discuss and consider a Final Plat for the Rona Addition, Lot 1 being 4-71 acres out of the D. McIver Survey, Abstract No. 331, City Of Terrell ETJ, Kaufman County, Texas.

#### 9. ZC 21-02

Conduct a public hearing to discuss and consider a change in zoning from Retail (R) to Single-Family Residential 7.5 (SF-7.5). The property is described as Lot C, Block 4, out of the Terrell Terrace Addition, City of Terrell, Kaufman County, Texas and is also known as 301 9th Street.

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**11. PD 21-01**

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**12. Discuss with the Planning & Zoning Commission a major update to the Sign Ordinance for the City of Terrell, Kaufman County, Texas**

**13. Adjourn**

**POSTED AT CITY HALL BULLETIN BOARD:** Monday, April 19, 2021 by 5:00 p.m.

ATTEST: Dawn Steil  
Dawn Steil, City Secretary





## PLANNING & ZONING COMMISSION

Thursday, February 25, 2021 at 5:30 p.m.

City Hall, Council Chambers

201 E. Nash, Terrell, Texas 75160

### Minutes

**Chairman** Danny Stephens  
**Commissioner** Trini B Jones  
**Commissioner** Carolyn Wimberly  
**Commissioner** Joe Hood  
**Commissioner** Rosi Juarez

**Vice-Chairman** Jenny Heisel  
**Commissioner** Jorge Vargas  
**Commissioner** Stephanie Thomas  
**Commissioner** Garrett Carlisle

#### 1. Call to Order.

*5:30 PM-Chairman Danny Stephens called the meeting to order.*

#### 2. Invocation

*5:31 PM- Commissioner Trini B. Jones gave the invocation.*

#### 3. Hear Remarks from Visitors.

*5:34 PM- No remarks from visitors.*

#### 4. Discuss and Consider approval of the Planning and Zoning Commission meeting minutes of January 28, 2021.

*5:35 PM- Chairman Danny Stephens called for the discussion and consideration of the minutes from the January 28, 2021 Planning and Zoning meeting. Commissioner Trini B. Jones stated that the date for the minutes would need to be corrected from December 17, 2020 to the correct date of January 28, 2021. Staff advised that the copy of the minutes had the correct date if approved for signature.*

*Commissioner Trini B. Jones made a motion to approve the minutes with the corrected date of January 28, 2021 Planning and Zoning meeting.*

*Commissioner Jenny Heisel second the motion for approval of the minutes corrected and submitted. Minutes approved by an 8-0 vote.*

### ACTION ITEMS

#### 5. ZC 21-02

Conduct a public hearing to discuss and consider a change in zoning from Retail (R) to Single-Family Residential 7.5 (SF-7.5). The property is described as Lot C, Block 4, out of the Terrell Terrace Addition, City of Terrell, Kaufman County, Texas and is also known as 301 9th Street.

*5:36 PM- Chairman Danny Stephens called for the item to conduct a public hearing to consider a zoning change from Retail (R) to Single-Family Residential 7.5 in item ZC 21-02.*

*Municipal Development Director Charles Fenner gave staff notes on the item to the Planning and Zoning commission. Mr. Fenner advised the commissioners that the request was for zone change from Retail to SF 7.5. The property is located on the corner of 9<sup>th</sup> Street and Colquitt, across from the play fields. The applicant has requested that the property be rezoned to single family. Current zoning is retail. The area around the property is retail and single-family. Staff does not recommend approval of the zone change. The Retail zoning allows for a number of different small retail or offices uses. The rezoning to SF-7.5 will create several nonconformities to include the building, setbacks, house type, etc. Mr. Fenner stated that there are several non-conforming structures around town. Mr. Fenner stated that the city tries not to rezone something that would create nonconformities with the zoning. Mr. Fenner stated that possible variances would need to be granted, to prevent creating the nonconformities.*

5:38 PM- Chairman Danny Stephens opened the public hearing on item ZC 21-02.

Chairman Danny Stephens requested, if there was anyone that wanted to speak in favor of the requested zone change.

Alex Boshart- 301 9<sup>th</sup> Street, Terrell Texas- property owner spoke in favor of the zone change. MR. Boshart stated that his family bought the property as an investment property. Mr. Boshart stated that the lot size would not allow enough parking for Retail. Mr. Boshart stated that they are requesting the rezoning because the future land use is calling for a neighborhood. While the other properties on the role were grandfathered in as single-family. The thought was to make this property, what it was used as two years ago. Mr. Boshart stated that the family was looking to renovate the property and make it have a nice curb appeal. Mr. Boshart stated that he feels that the property will continue to have issues with zoning requirements, unless the zoning was changed. Mr. Boshart stated that he appreciated the commissioners' time. Commissioner Trini B. Jones stated that the placement of a home at the location, there is no way anyone would be able to enter and exit the property. Mr. Jones stated that in the mornings and afternoons during the school year, is a nightmare with the amount of traffic in the area. Mr. Jones stated that it would create a hazard. Mr. Boshart stated that they would try to create parking behind the house. Mr. Boshart stated that the amount of parking would not be enough for retail. Retail at a busy intersection would not be a good fix. MR. Jones stated that there is ample parking across the street by the soccer fields. Mr. Jones stated that making the property a single-family home would be an issue. Mr. Boshart stated that any issue of the property would cause an issue with entering and exiting. Commissioner Stephanie Thomas asked if the property owner has talked to the neighboring properties to acquire additional property to meet the parking requirements for the Retail zoning. Mr. Boshart stated that he has not talked to the neighboring property owners. Chairman Danny Stephens stated that the property had not been rented or used in the last six months. Mr. Boshart stated that they bought the property in December 2020 as a package deal and has been waiting to see if it could be rezoned. Commissioner Vargas asked if he considered using the property at office space. Mr. Boshart stated that there is still issues with configuring the parking spaces. Mr. Fenner stated that there would need to be a variance to allow the parking difference. Mr. Boshart as investors stated that as investor's states that they could not wait that amount of time. Commissioner Garrett Carlisle stated that he does not remember any house in this area facing the Colquitt; he stated that most of the house are the backyard along Colquitt.

Chairman Danny Stephens requested if anyone wanted to speak in opposition of the requested zone change. No one spoke in opposition of the requested zone change.

5:55 PM- Chairman Danny Stephens closed the public hearing and called for a motion on the requested item.

Commissioner Trini B. Jones made a motion to deny the requested zone change from Retail to Single- Family 7.5.

Commissioner Jorge Vargas second the motion to deny the requested zone change.

Zone Change denied by an 8-0 vote.

## 6. RP 21-01

Conduct a public hearing to discuss and consider a Final Plat of Lot 1 & 2, Block No. 580, Terrell Rev Addition. Being a replat of Lot 2R, Block No. 580, of the Terrell Rev Addition, City of Terrell, Kaufman County. The property is also known as 0 Mineral Wells Street, Terrell Texas. The property is currently zoned as Single Family 7.5 (SF-7.5) district.

5:57PM- Chairman Danny Stephens called for the item to conduct a public hearing to consider a of the Jaquez Addition, Lots 1 & 2, Block No. 580, out of the Terrell Rev Addition, City of Terrell, Kaufman County, Texas. Known as 0 Mineral Wells. Being a replat of Lot 2R, Block 580, City of Terrell, Kaufman County, Texas.

Municipal Development Tech- J. Potts gave staff notes on the requested final plat for the Jaquez Addition, Lots 1 & 2, Block No. 580 Mr. Potts advised the commissioners that the final plat was taking a single lot and dividing into two individual lots. The lots sizes would have a width of 75-foot and a length if 285-foot. Mr. Potts advised the commission that each lot would be approximately 21,000 square-foot. Mr. Potts advised that the current zoning of SF-7.5 requires a lot width of 70-foot and length of 100-foot, with a minimum square footage of 7,500 square-foot. Mr. Potts stated that the plat exceeds the minimum standards and meets all zoning of the ordinance. Mr. Potts advised that staff recommends approval of the plat. Chairman Danny Stephens asked if the 0 Mineral Wells is a

correct address. Mr. Potts advised that the 0 address number noted a lot where structure has not been built to be given a numerical address.

5:58 PM- Chairman Danny Stephens opened the public hearing on item RP 21-01.

Chairman Danny Stephens requested, if there was anyone that wanted to speak in favor of the final plat.

Mrs. Deborah Taylor- 2330 W. Moore Ave- stated that she was not speaking in favor or against the plat. Mrs. Taylor stated that she did not understand the plat. Mrs. Taylor stat the she and her family own land that is behind the Mineral Wells property, she wanted to know if the plat would block her from getting to her property. Mr. Potts advised that plat shows a right-of way at the rear of the property that has been abandoned and the property owner has included the abandoned right-of-way as part of the plat. Mrs. Taylor would still have access to her property from Wood Street. Mr. Potts advised the plat only effect the property on Mineral Wells. Mr. Potts advised Mrs. Taylor that the only right-of-way the plat effects is the abandoned one for Hawkins Street at the rear of the property.

Chairman Danny Stephens requested if anyone wanted to speak in opposition of the requested Final Plat. No one spoke in opposition of the Final Plat.

6:02 PM- Chairman Danny Stephens closed the public hearing and called for a motion on the requested plat.

Commissioner Stephanie Thomas asked if the property owner has requested the additional 15 feet of property at the back of the property because the city had abandoned right-of-way. Mr. Potts stated that yes the property owner had requested the additional 15 feet because the right-of-way was abandoned by the city. Mr. Potts advised commissioners that any property owner along the section of the abandoned Hawkins Street right-of-way could replat their properties and claim the additional property from the abandoned right-of-way. Commissioner Trini B. Jones asked if the additional property owners were notified about the abandoned right-of-way. Mr. Potts advised commissioner that the abandoned right-of-way was a decision that was made by the Engineering Department. Commissioner Garrett Carlisle asked if the plat one property that the owner was splitting to make two properties. Mr. Potts stated yes to Commissioner Carlisle question. Commissioner Stephanie Thomas stated that her major concern is the access to the property that Hawkins Street is gone forever and losing access.

Chairman Danny Stephens called for a motion on the requested Final Plat for Jaquez Addition.

Commissioner Jorge Vargas made a motion to approve the Final Plat for the Jaquez Addition, Lots 1 & 2, Block No. 580, Terrell Rev. Addition.

Commissioner Jenny Heisel second the motion for approval of the Final Plat as submitted.

Final Plat approved by a 5-2 vote. Commissioner Stephanie Thomas abstained from voting on the item.

## 7. Adjourn

Chairman Danny Stephens adjourned the meeting.

**Approved as submitted:**

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Danny Stephens, Chairman



**Agenda Item No. 6  
Final Plat of  
Guyton Addition  
Lot 1 & 2, Block 1 being 5.259 acres  
(ETJ)  
(FP 21-02)**

**Planning and Zoning Commission Meeting:** April 22, 2021

**Existing Zoning:** ETJ

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**Location:** Final Plat for Guyton Addition, Lot 1 & 2, being 5.259 acres out of the J. W. Gardner Survey, Abstract No. 183, City of Terrell ETJ, Kaufman County, Texas.

**Owner/Applicant:** Eric Guyton

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**Background:**

The applicant has submitted a Final Plat for Guyton Addition Lot 1 & 2, being 5.259 acres along County Road 318. The lots will consist of Lot 1, being 3.51 acres, and Lot 2 being 1.749 acres. The property is located in the ETJ along County Road 318. The plat will dedicate a 20' utility easement and a 40' access easement for future roadway on the frontage of the property, along County Road 318. Being that the property is in the ETJ, the City of Terrell has no zoning authority, just platting authority.

**Staff Recommendation:**

Approval of the Final Plat for the Guyton Addition, Lot 1 & 2, being 5.259 acres out of the J. W. Spencer Survey, Abstract No. 183, City of Terrell ETJ, Kaufman County, Texas.

**Attachments:**

Final Plat  
Application  
Site Location



# City of Terrell

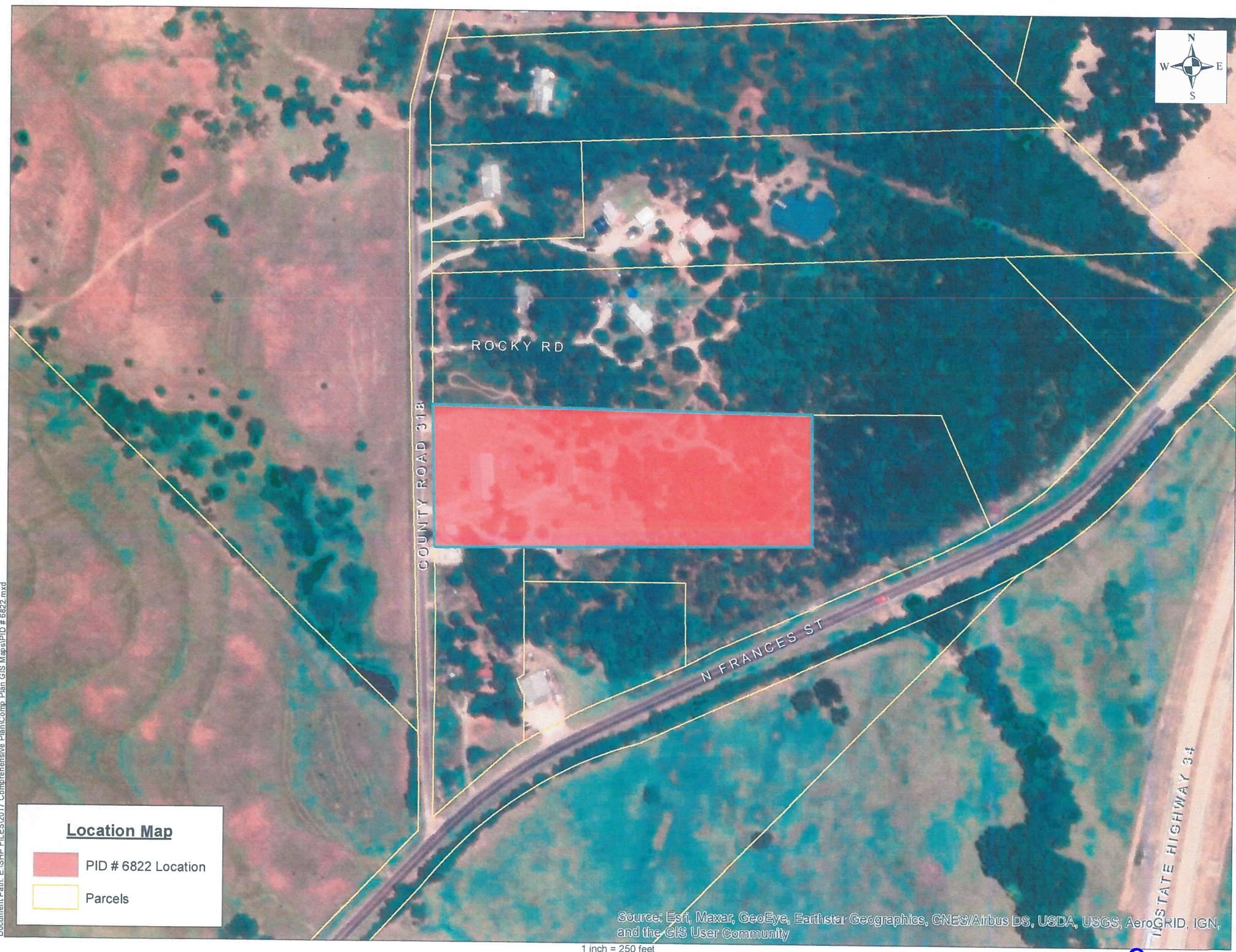
## Application for Plat Approval

PLANNING AND ZONING BOARD

Municipal Development  
Department  
201 E. Nash / P.O. Box 310  
Terrell, TX 75160  
972-551-6606 phone  
972-551-6677 fax

<b>Application Type:</b>	<input type="checkbox"/> Construction	<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Replat	<input type="checkbox"/> Amending
<b>Plat Name:</b>				
<b>Existing Property Information:</b>				
<b>Legal Description:</b>				
Lot: _____		Block: _____		
Subdivision: _____		No. of Lots: _____		
Survey abstract & acreage: <u>J.W. Gardner Survey, Abstract No. 183</u>				
Address: <u>14076 Co. Rd. 318, Terrell, TX 75160</u>				
<b>Present use &amp; zoning district:</b> _____ (Please note chart below)				
(AG)	AGRICULTURE	(NS)	NEIGHBORHOOD SERVICES	
(SF-16, SF-10, SF-7.5, SF-6)	SINGLE-FAMILY RESIDENTIAL	(R)	RETAIL	
(TH-12)	TOWNHOUSE RESIDENTIAL	(CBD)	CENTRAL BUSINESS DISTRICT	
(MF-22)	MULTI-FAMILY RESIDENTIAL	(C)	COMMERCIAL	
(MH)	MANUFACTURED HOME	(LI)	LIGHT INDUSTRIAL	
(O)	OFFICE	(PD)	PLANNED DEVELOPMENT	
<b>Property Owner Information:</b>				
Owner: <u>Eric Guyton</u>	Phone No. <u>214-445-7693</u>	Fax No. _____		
Address: <u>14076 Co. Rd. 318, Terrell, TX 75160</u>				
If the property owner is represented by an authorized agent, please complete the following:				
Agent/Developer: _____	Phone No. _____	Fax No. _____		
Cell No. _____	E-Mail _____			
Address: _____				
Owner Signature: _____	Agent Signature: _____			
<b>Surveyor:</b>				
Firm Name: <u>Vannoy Surveyor Inc</u>	Phone No. <u>972-563-7101</u>	Fax No. _____		
Contact: <u>Noreen Walker</u>	E-Mail <u>vannoy.surve sbglobal.net</u>			
Address: <u>306 N. Adelaide, Terrell, TX 75160</u>				
<b>Land Planner/Engineer:</b>				
Firm Name: <u>Hennessey Engineering, Inc</u>	Phone No. <u>972-245-9170</u>	Fax No. _____		
Contact: <u>Pete Hennessey</u>	E-Mail <u>henepe2@aol.com</u>			
Address: <u>1417 W. Main #100, Carrollton, TX 75006</u>				
<b>Office Use Only:</b>				
Application Date: _____	Fee Paid: _____	(Check# _____)	(Cash _____)	(C.C. _____)
Received By: _____				

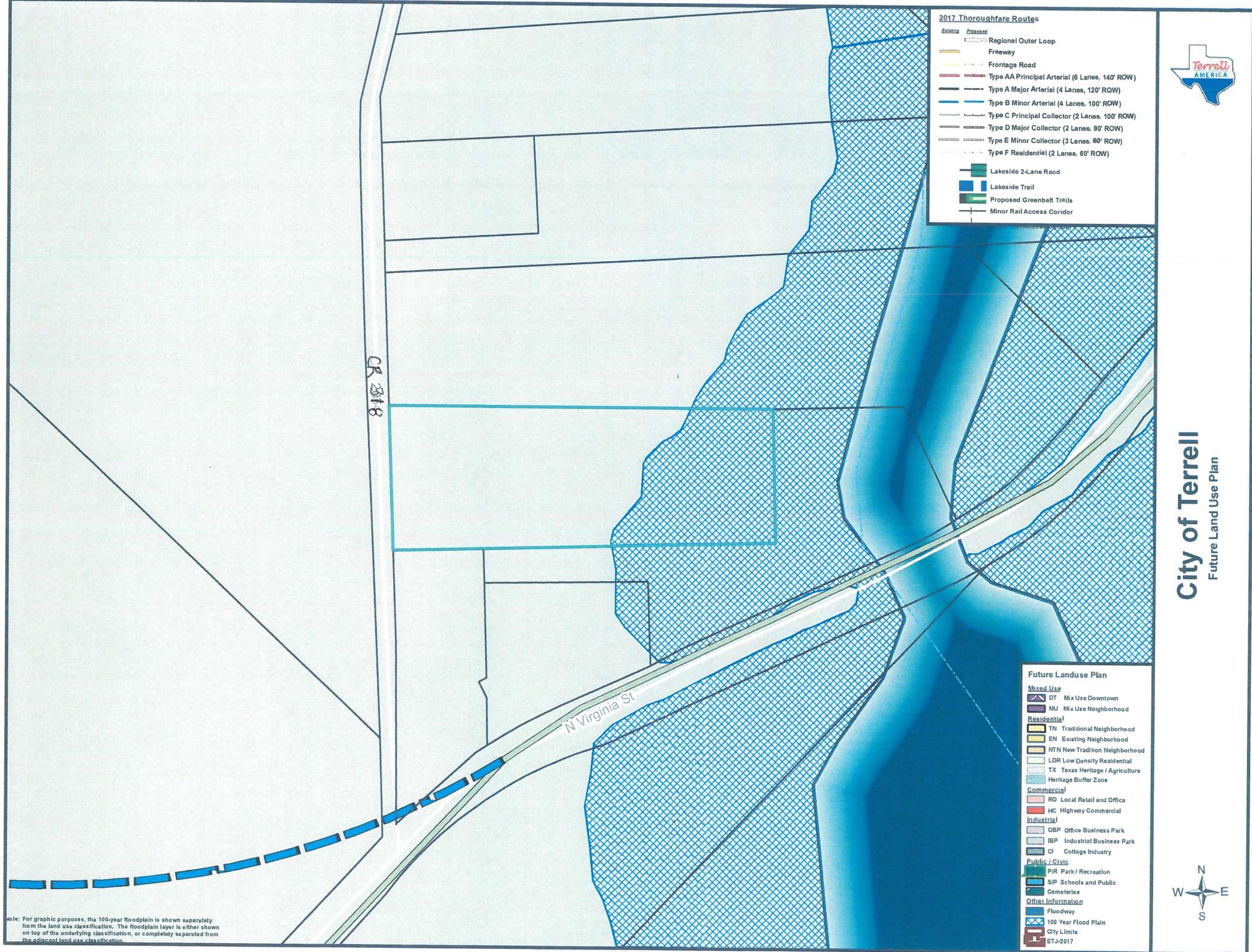






## City of Terrell

Future Land Use Plan





**Agenda Item No. 7  
Final Plat of  
Rios Addition  
Lot 1, being 1.381 acres,  
City of Terrell ETJ  
(FP 21-03)**

**Planning and Zoning Commission Meeting:** April 22, 2021

**Existing Zoning:** ETJ

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**Location:** Final Plat for Rios Addition, Lot 1, being 1.381 acres out of the Ransom Sowell Survey, Abstract No. 443, City of Terrell ETJ, Kaufman County, Texas.

**Owner/Applicant:** Erika Rios

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**Background:**

The applicant has submitted a Final Plat for Rios Addition Lot 1, being 1.381 acres on County Road 236. The lot will consist 1.381 acres. The property is located in the ETJ along County Road 236. Being that the property is in the ETJ, the City of Terrell has no zoning authority, just platting authority. The property will require a 30-foot access easement into the property from County Road 236.

**Staff Recommendation:**

Approval of the Final Plat for the Rios Addition, Lot 1, being 1.381 acres out of the Ransom Sowell Survey, Abstract No. 443, City of Terrell ETJ, Kaufman County, Texas.

**Attachments:**

Final Plat  
Application  
Site Location



# City of Terrell

## Application for Plat Approval

PLANNING AND ZONING BOARD

Municipal Development  
Department  
201 E. Nash/ P.O. Box 310  
Terrell, TX 75160  
972-551-6606 phone  
972-551-6677 fax

<b>Application Type:</b>	<input type="checkbox"/> Construction	<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Replat	<input type="checkbox"/> Amending
<b>Plat Name:</b>				
<b>Existing Property Information:</b>				
<b>Legal Description:</b>				
Lot:	1.381 acres		Block:	
Subdivision:	Rios Addition		No. of Lots	1
Survey abstract & acreage: Ransom Sowell Survey, Abstract No. 443				
<b>Address:</b>				
<b>Present use &amp; zoning district:</b> _____ (Please note chart below)				
(AG)	AGRICULTURE	(NS)	NEIGHBORHOOD SERVICES	
(SF-16, SF-10, SF-7.5, SF-6)	SINGLE-FAMILY RESIDENTIAL	(R)	RETAIL	
(TH-12)	TOWNHOUSE RESIDENTIAL	(CBD)	CENTRAL BUSINESS DISTRICT	
(MF-22)	MULTI-FAMILY RESIDENTIAL	(C)	COMMERCIAL	
(MH)	MANUFACTURED HOME	(LI)	LIGHT INDUSTRIAL	
(O)	OFFICE	(PD)	PLANNED DEVELOPMENT	
<b>Property Owner Information:</b>				
Owner:	Erika Rios		Phone No.	(214) 621-1053
Address:	19770 Po Rd 236		Fax No.	
If the property owner is represented by an authorized agent, please complete the following:				
Agent/Developer:			Phone No.	Fax No.
Cell No.			E-Mail	
Address:				
Owner Signature:	Agent Signature:			
<b>Surveyor:</b>				
Firm Name:	Vannoy Surveyors Inc.		Phone No.	(972) 563-7101
Contact:	Noreen Walker		E-Mail	
Address:	306 N. Adelaide, Terrell, TX 75160			
<b>Land Planner/Engineer:</b>				
Firm Name:			Phone No.	Fax No.
Contact:			E-Mail	
Address:				
<b>Office Use Only:</b>				
Application Date:	Fee Paid:	(Check# _____)	(Cash _____)	(C.C. _____) Received By: _____

**MAP**

**SPECIAL NOTICE**

SELLING A PORTION OF THE ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

**RIGHT OF WAY**

THE BASIS OF BEARING IS THE WESTERLY BOUNDARY LINE OF THE CALLED 5.00 ACRE TRACT OF LAND AS DESCRIBED IN RECORDED IN VOLUME 3578, PAGE 262, DEED RECORDS AS MAP 127272.

**OWNER'S DECLARATION**

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT GLEN B. TOLBERT AS THE OWNER OF THE ABOVE DESCRIBED PROPERTY, DO HEREBY, ADVICE THE PUBLIC, DESCRIBING THE SAME AS RIOS ADDITION, AN ADDITION TO THE CITY OF TERRELL, KAUFMAN COUNTY, TEXAS, AND DO HEREBY, AGREE TO THE USE OF THE PUBLIC FORCED THE RIGHT OF WAY, PUBLIC USE AREAS AND OTHER EASEMENTS SHOWN THEREON FOR THE PURPOSES PROVIDED FOR IN THE PUBLIC LAW, THAT THE SAME SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE SAID EASEMENTS, EXCEPT AS MAY BE REQUERIED BY THE SAID LAW, THAT THE SAME SHALL BE MAINTAINED IN A REASONABLE AND ACCOMMODATION OF ALL THAT PUBLIC UTILITIES, UNLESS AN EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES WITH WHICH SUCH EASEMENT IS APPROPRIATE TO THAT OF THE CITY OF TERRELL, S. THAT THE SAID CITY AND PUBLIC UTILITIES SHALL MAINTAIN THE SAME IN A REASONABLE AND ACCORDING TO THE REQUIREMENTS OF THE PUBLIC UTILITIES, OTHER IMPROVEMENTS OR GROWTHS, WHICH MAY IN ANY WAY ENHANCE OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM LOCATED WITHIN SAID EASEMENTS AND THAT THE SAID CITY AND PUBLIC UTILITIES SHALL AT ALL TIMES MAINTAIN THE SAME IN A REASONABLE AND ACCORDING TO THE REQUIREMENTS OF THE PUBLIC UTILITIES, CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PRODUCING PERMISSION FROM ANYONE, AND

THAT THIS PLAT IS SUBJECT TO ALL OF THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF TERRELL AND THE COUNTY OF KAUFMAN, TEXAS.

**WITNESS** MY NAME IS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

**SIGNATURE OF OWNER**

STATE OF TEXAS  
COUNTRY OF KAUFMAN

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GLEN B. TOLBERT, WHO TO ME TO BE THE PERSON WHO'S NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND WHO ACKNOWLEDGED TO ME THAT HE/HIS EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED

Given under my hand and seal of office this the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

**NOTARY PUBLIC FOR THE STATE OF TEXAS**

MY COMMISSION

**NOTARY PUBLIC FOR THE STATE OF TEXAS**

MY COMMISSION

**FINAL PLAT**

APPROVED BY THE CITY OF TERRELL FOR FILING AT THE OFFICE OF THE COUNTY CLERK OF KAUFMAN COUNTY, TEXAS.

THIS PROPERTY IS LOCATED IN THE CORPORATE LIMITS OF THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF TERRELL, KAUFMAN COUNTY, TEXAS.

APPROVED BY PLANNING AND ZONING

SIGNATURE OF CHAPMPERSON DATE OF APPROVAL

ATTEST

CITY SECRETARY DATE

REVIEWED FOR TECHNICAL CORRECTNESS BY

MUNICIPAL DEVELOPMENT DEPARTMENT DATE

CITY ENGINEER DATE

**NOTARY PUBLIC FOR THE STATE OF TEXAS**

MY COMMISSION EXPIRES

**FINAL PLAT**

BEING A 1.381 ACRE TRACT OF LAND  
SITUATED IN THE RANSOM SOWELL SURVEY,  
ABSTRACT NO. 443, BEING A PART OF A  
CALLED 7.73 ACRE TRACT OF LAND LOCATED  
IN THE ETZ OF THE CITY OF TERRELL  
INTO LOT 1

13770 COUNTY ROAD 301  
CITY OF TERRELL,  
KAUFMAN COUNTY, TEXAS

ERMA RIOS  
13770 COUNTY ROAD 306  
TERRELL, TEXAS 75160  
(214) 531-1933

HENNESSEY  
ENGINEERING, INC.  
1411 W MAIN #102 CARRISLTON, TX 75006  
(214) 245-9429 EMAIL: henns@juno.com

V09021 PAGE 1 OF 1

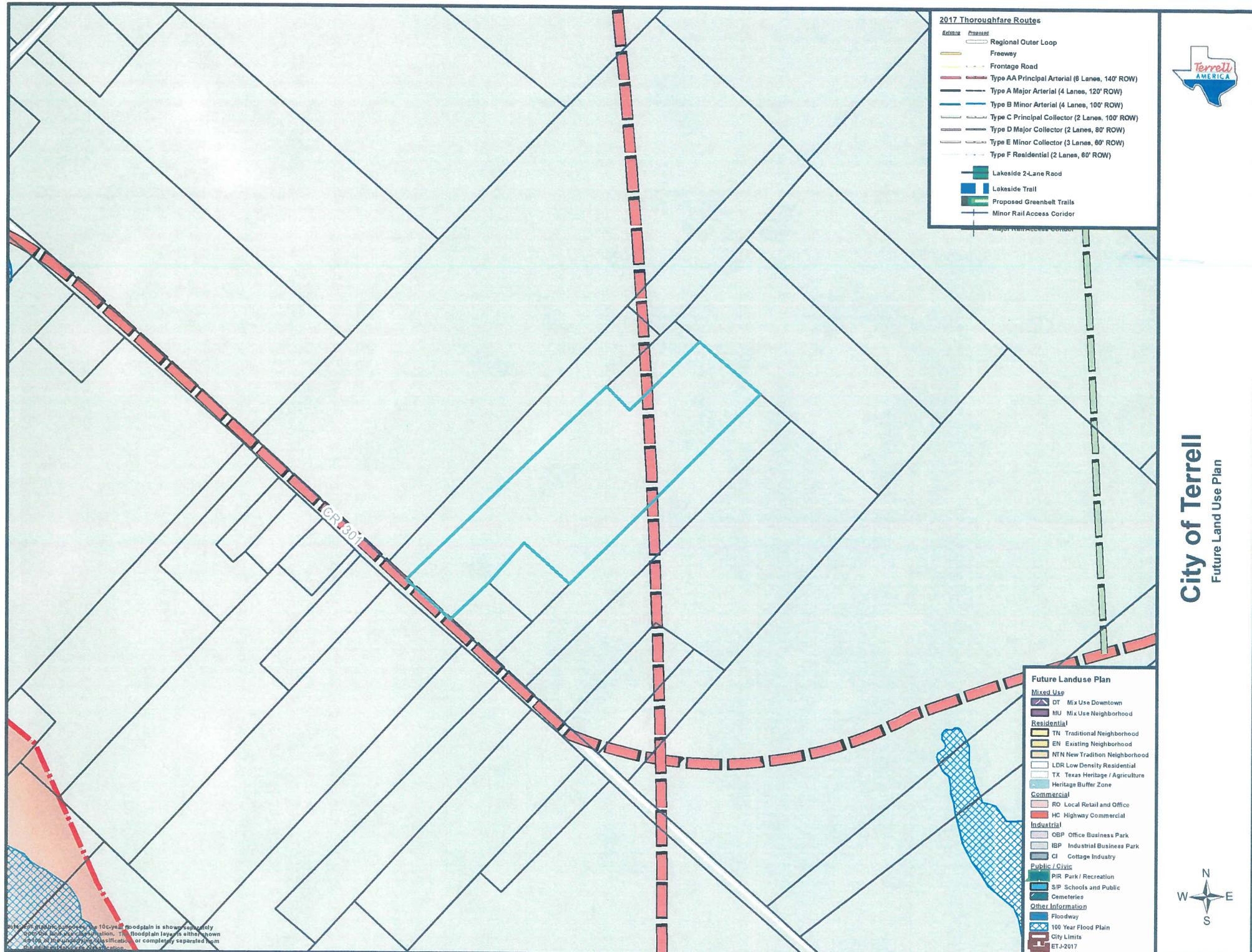


#### Location Map

- PID # 55011 Location
- Parcels

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

1 inch = 449.67 feet





**Agenda Item No. 8  
Final Plat of  
Ronda Addition  
Lot 1, being 4.71 acres,  
City of Terrell ETJ  
(FP 21-04)**

**Planning and Zoning Commission Meeting:** April 22, 2021

**Existing Zoning:** ETJ

---

**Location:** Final Plat for Ronda Addition, Lot 1, being 4.71 acres out of the D. McIver Survey, Abstract No. 331, City of Terrell ETJ, Kaufman County, Texas.

**Owner/Applicant:** Richard, JR. & Ronda Tolbert

---

**Background:**

The applicant has submitted a Final Plat for Ronda Addition Lot 1, being 4.71 acres on FM 2578. The lot will consist 4.71 acres. The property is located in the ETJ along FM 2578. Being that the property is in the ETJ, the City of Terrell has no zoning authority, just platting authority.

**Staff Recommendation:**

Approval of the Final Plat for the Ronda Addition, Lot 1, being 4.71 acres out of the D. McIver Survey, Abstract No. 331, City of Terrell ETJ, Kaufman County, Texas.

**Attachments:**

Final Plat  
Application  
Site Location



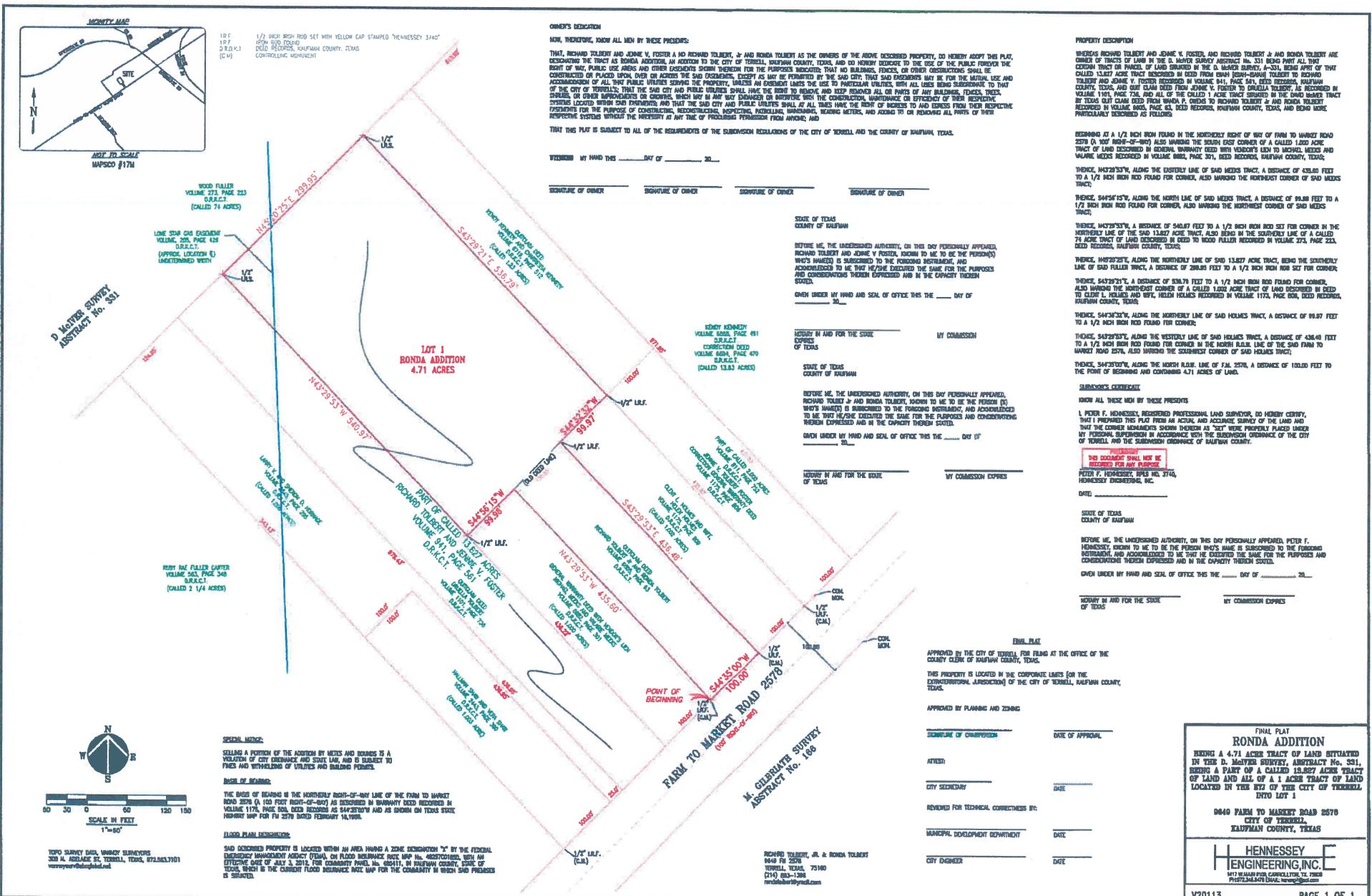
# City of Terrell

## Application for Plat Approval

PLANNING AND ZONING BOARD

Municipal Development  
Department  
201 E. Nash / P.O. Box 310  
Terrell, TX 75160  
972-551-6606 phone  
972-551-6677 fax

<b>Application Type:</b>	<input type="checkbox"/> Construction	<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Replat	<input type="checkbox"/> Amending
<b>Plat Name:</b> <u>Rondon Addition</u>				
<b>Existing Property Information:</b>				
<b>Legal Description:</b>				
Lot:	Block:			
Subdivision:	No. of Lots <u>1</u>			
Survey abstract & acreage: <u>J. McIver Survey, Abstract of No. 331</u> <u>4.71 acres</u>				
Address: <u>9649 FM 2578, Terrell, TX 75160</u>				
<b>Present use &amp; zoning district:</b> _____ (Please note chart below)				
(AG)	AGRICULTURE	(NS)	NEIGHBORHOOD SERVICES	
(SF-16, SF-10, SF-7.5, SF-6)	SINGLE-FAMILY RESIDENTIAL	(R)	RETAIL	
(TH-12)	TOWNHOUSE RESIDENTIAL	(CBD)	CENTRAL BUSINESS DISTRICT	
(MF-22)	MULTI-FAMILY RESIDENTIAL	(C)	COMMERCIAL	
(MH)	MANUFACTURED HOME	(LI)	LIGHT INDUSTRIAL	
(O)	OFFICE	(PD)	PLANNED DEVELOPMENT	
<b>Property Owner Information:</b>				
Owner:	<u>Richard + Druella Tolbert</u>	Phone No.	<u>(214) 893-1396</u> Fax No. _____	
Address:	<u>9649 FM 2578, Terrell, TX 75160</u>			
If the property owner is represented by an authorized agent, please complete the following:				
Agent/Developer:	Phone No.		Fax No. _____	
Cell No.	E-Mail _____			
Address:	_____			
Owner Signature:	Agent Signature: _____			
<b>Surveyor:</b>				
Firm Name:	<u>Vannoy Surveyors Inc</u> Phone No. <u>(972) 563-7101</u> Fax No. _____			
Contact:	<u>Noreen Walker</u> E-Mail _____			
Address:	<u>306 N. Adelaide, TX 75160</u>			
<b>Land Planner/Engineer:</b>				
Firm Name:	<u>Hennessey Engineering, INC</u> Phone No. <u>(972) 245-9878</u> Fax No. _____			
Contact:	<u>Pete Hennessey</u> E-Mail _____			
Address:	<u>1417 W. Main #100 Carrollton, TX 75006</u>			
<b>Office Use Only:</b>				
Application Date:	Fee Paid:	(Check# <u>      </u> )	(Cash <u>      </u> )	(C.C. <u>      </u> ) Received By: _____







# City of Terrell

Future Land Use Plan

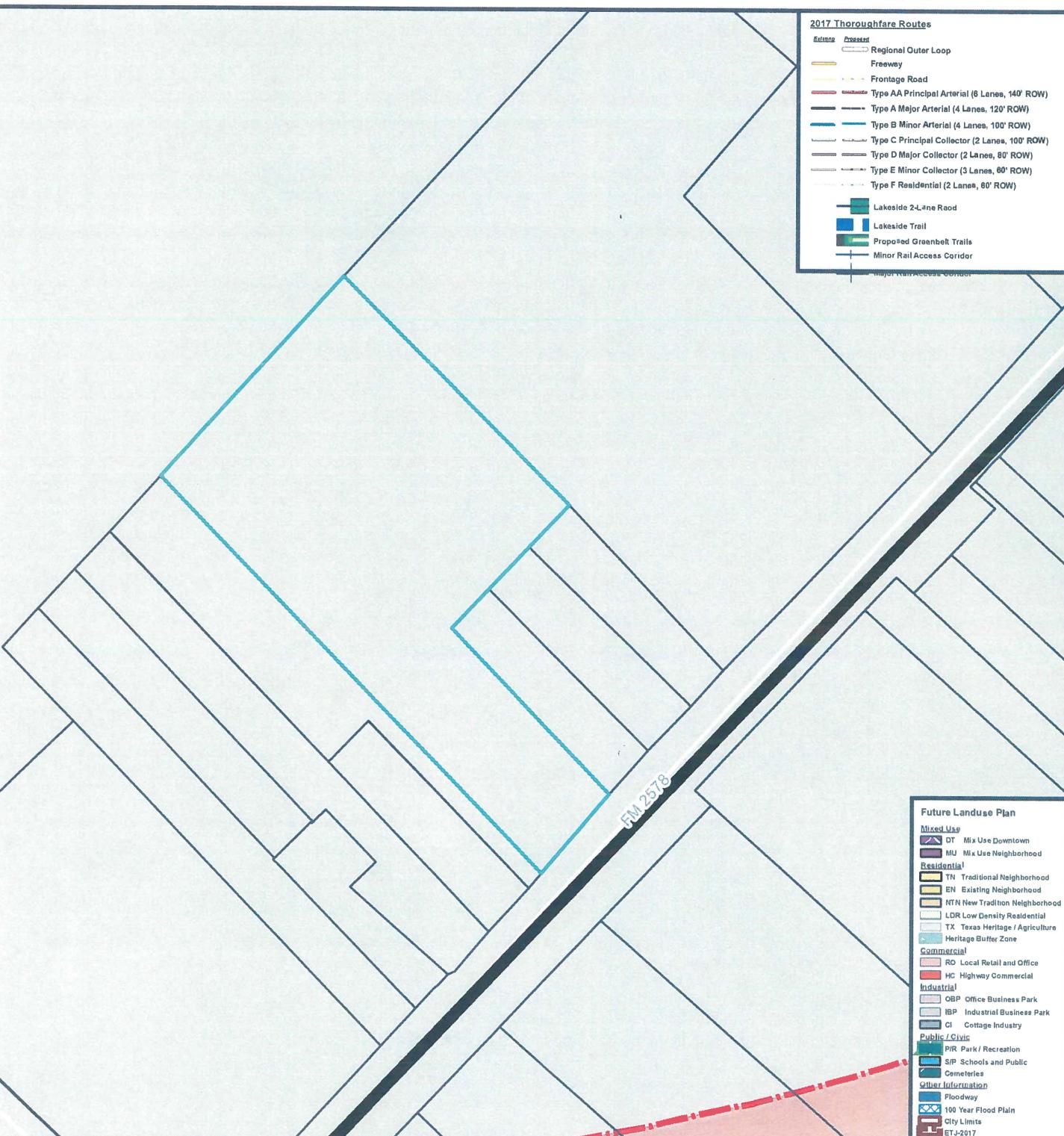


2017 Thoroughfare Routes	
Existing	Proposed
	Regional Outer Loop
Yellow	Freeway
Yellow Dashed	Frontage Road
Red	Type AA Principal Arterial (6 Lanes, 140' ROW)
Black	Type A Major Arterial (4 Lanes, 120' ROW)
Blue	Type B Minor Arterial (4 Lanes, 100' ROW)
Light Blue	Type C Principal Collector (2 Lanes, 100' ROW)
Dark Blue	Type D Major Collector (2 Lanes, 80' ROW)
Dark Green	Type E Minor Collector (3 Lanes, 80' ROW)
Light Green	Type F Residential (2 Lanes, 60' ROW)
	Major Multicarriageway Corridor
	Lakeside 2-Lane Road
	Lakeside Trail
	Proposed Greenbelt Trails
	Minor Rail Access Corridor

## Future Landuse Plan

Mixed Use	
DT	Mix Use Downtown
MU	Mix Use Neighborhood
Residential	
TN	Traditional Neighborhood
EN	Existing Neighborhood
NTN	New Tradition Neighborhood
LDR	Low Density Residential
TX	Texas Heritage / Agriculture
	Heritage Buffer Zone
Commercial	
LR	Local Retail and Office
HC	Highway Commercial
Industrial	
OBP	Office Business Park
IBP	Industrial Business Park
CI	Cottage Industry
Public / Civic	
PR	Park / Recreation
S/P	Schools and Public
Cemeteries	Cemeteries
Other Information	
Floodway	Floodway
100 Year Flood Plain	100 Year Flood Plain
City Limits	City Limits
ETJ-2017	ETJ-2017

Note: For graphic purposes, the 100-year floodplain is shown separately from the land use classification. The floodplain layer is either shown on top of the underlying classification, or completely separated from the adjacent land use classification.





Agenda Item No. 9

## Zoning Change

**Rezone from Retail to Single-Family 7.5 (SF-7.5)**

**Terrell Rev, Block 351, Lot 1**

**City of Terrell, Kaufman County Terrell, Texas**

**(ZC 21-02)**

**Planning and Zoning Commission:**

**April 22, 2021**

**Existing Use:**

**Single-Family**

**Zoning:**

**Retail (R)**

**Proposed Use:**

**Single- Family (SF-7.5)**

### **Background:**

The property is currently zoned Retail (R). The applicant would like to rezone it to Single Family 7.5 (SF-7.5). The property is located in the Terrell Rev Addition, Block 351, Lot 1, City of Terrell, Kaufman County, Texas. Also, known as 801 N Rockwall.

### **Current:**

The current zoning of the property is Retail (R), as delineated by the attached map. The applicant is requesting a zone change to Single- Family 7.5 (SF-7.5). The applicant proposes the zone change to match the neighboring properties and have a conforming use zoning status. The adjacent properties are zoned as follows:

North – Single-Family 7.5 (SF-7.5)

South – Retail (R)

East – Single-Family 7.5 (SF-7.5)

West- Single-Family 7.5 (SF-7.5)

- The rezoning of this property fits in with the adjacent zoning to the north, west and east.
- The Comprehensive plan calls out for the property to be Traditional Neighborhood.

**Technical Issues:**

Nineteen letters were sent out to adjacent property owners within 200 feet of the property involved in this request. As of April 19, 2021, 0 letters have been returned in favor or opposing of the requested zone change.

**Staff Recommendation:**

Approval of the zone change from Retail (R) to the Single-Family 7.5 (SF-7.5) zoning. The change in zoning is in the spirit of the Comprehensive Plan, which has this area designation as Traditional Neighborhood.

**Attachments:**

1. Application
2. Zoning Map
3. Future Land Use Map
4. Buffer Map
5. Traditional Neighborhood



# City of Terrell

## ZONING or SUP Application

### PLANNING AND ZONING COMMISSION

City of Terrell  
201 E. Nash  
P.O. Box 310  
Terrell, TX 75160

#### Property Owner Information:

Owner: Edward Mathews + Michelle Giddings-Mathews Phone No.: 214.604.7664 Fax No.: n/a  
Cell No.: 971.207.2135 E-Mail: e.m.mathews@comcast.net  
Address: 801 N Rockwall

Owner Signature: Michelle Giddings-Mathews

If the property owner is represented by an authorized agent, please complete the following:

Agent: n/a Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_

Cell No.: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Address: \_\_\_\_\_

Agent Signature: \_\_\_\_\_

#### Existing Property Information:

Lot: 1 Block: 351

Subdivision: \_\_\_\_\_ No. of Lots: 1

Survey abstract & acreage: \_\_\_\_\_

Address: 801 N Rockwall

Current zoning district (Please note chart below): R - Retail

(AG)	AGRICULTURE	(NS)	NEIGHBORHOOD SERVICES
(SF-16, SF-10, SF-7.5, SF-6)	SINGLE-FAMILY RESIDENTIAL	(R)	RETAIL
(TH-12)	TOWNHOUSE RESIDENTIAL	(CBD)	CENTRAL BUSINESS DISTRICT
(MF-22)	MULTI-FAMILY RESIDENTIAL	(C)	COMMERCIAL
(MH)	MANUFACTURED HOME	(LI)	LIGHT INDUSTRIAL
(O)	OFFICE	(PD)	PLANNED DEVELOPMENT

#### Application Request:

Zone Change  Specific Use

Use or Zoning Requested: SF-7.5 Single Family Residential

Reason for Request: please see letter, included

The Municipal Development Department will only accept complete applications. This includes a completed application form, proof of ownership, non-refundable filing fee made payable to the City of Terrell, legal description or surveyed plat drawn by a Licensed Surveyor, and a Comprehensive Site Plan (if applicable). Planning & Zoning Commission meetings are held on the 4th Thursday of each month at 5:30 p.m. Applications are due thirty (30) days prior to the meeting date.

#### Office Use Only:

<input type="checkbox"/> Complete Application	Received By: _____
<input type="checkbox"/> \$200.00 Fee	Filing Date: _____
<input type="checkbox"/> Proof of Ownership	Planning & Zoning Date: _____
<input type="checkbox"/> Surveyed Plat	1 <sup>st</sup> City Council Date: _____
<input type="checkbox"/> Comprehensive Site Plan (for PD or SUP)	2 <sup>nd</sup> City Council Date: _____

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TERRELL, KAUFMAN COUNTY, TEXAS, AMENDING APPENDIX 2, ZONING ORDINANCE OF THE CITY OF TERRELL BY CHANING THE ZONING CLASSIFICATION ON CERTAIN REAL PROPERTY MORE PARTICULARLY DESCRIBED AS LOT 1, BLOCK 351, TERRELL REVISED, AN ADDITION TO THE CITY OF TERRELL, AND ALSO KNOWN AS 801 NORTH ROCKWALL STREET AS SHOWN ON THE PLAT ATTACHED HERETO AS EXHIBIT "A" AND MADE A PART HEREOF FOR ALL PURPOSES FROM RETAIL (R) TO SINGLE-FAMILY RESIDENTIAL 7.5 (SF-7.5); PROVIDING FOR SEVERABILITY AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS** on the 22<sup>nd</sup> day of April, 2021, the Planning and Zoning Commission conducted a public hearing and approved the amendment of Appendix 2, Zoning Ordinance of the City of Terrell, by changing the zoning classification on certain real property more particularly described as Lot 1, Block 351, Terrell Revised, an addition to the City of Terrell, and also known as 801 North Rockwall Street from Retail (R) to Single-Family residential 7.5 (SF-7.5).

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TERRELL, KAUFMAN COUNTY, TEXAS:**

**ARTICLE I.**

**THAT** Appendix 2, Zoning Ordinance of the City of Terrell be amended to change the zoning classification on certain real property more particularly described as Lot 1, Block 351, Terrell Revised, an addition to the City of Terrell and also known as 801 North Rockwall Street as shown on plat attached hereto as Exhibit "A" and made a part hereof for all purposes from Retail (R) to Single-Family Residential 7.5 (SF-7.5).

**ARTICLE II.**

All Ordinances or parts of Ordinances in conflict herewith are to the extent of such conflict hereby repealed.

**ARTICLE III.**

It is hereby declared to be the intention of the City Council of the City of Terrell, Texas that the sections, paragraphs, sentences, clauses and phrases of this Ordinance are severable and, if any phrase, clause, sentence, paragraph, or section of this Ordinance shall be declared unconstitutional by the valid judgement or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections.

#### **ARTICLE IV.**

All other provisions of Appendix 2 not expressly modified by this Ordinance shall remain in full force and effect.

#### **ARTICLE V.**

This Ordinance shall take effect immediately after its passage and the publication of the caption as the law in such cases provides.

**PASSED AND APPROVED** on this the \_\_\_\_\_ day of April, 2021.

**PASSED AND ADOPTED** on this the \_\_\_\_\_ day of April, 2021.

---

E. Rick Carmona, Mayor

ATTEST:

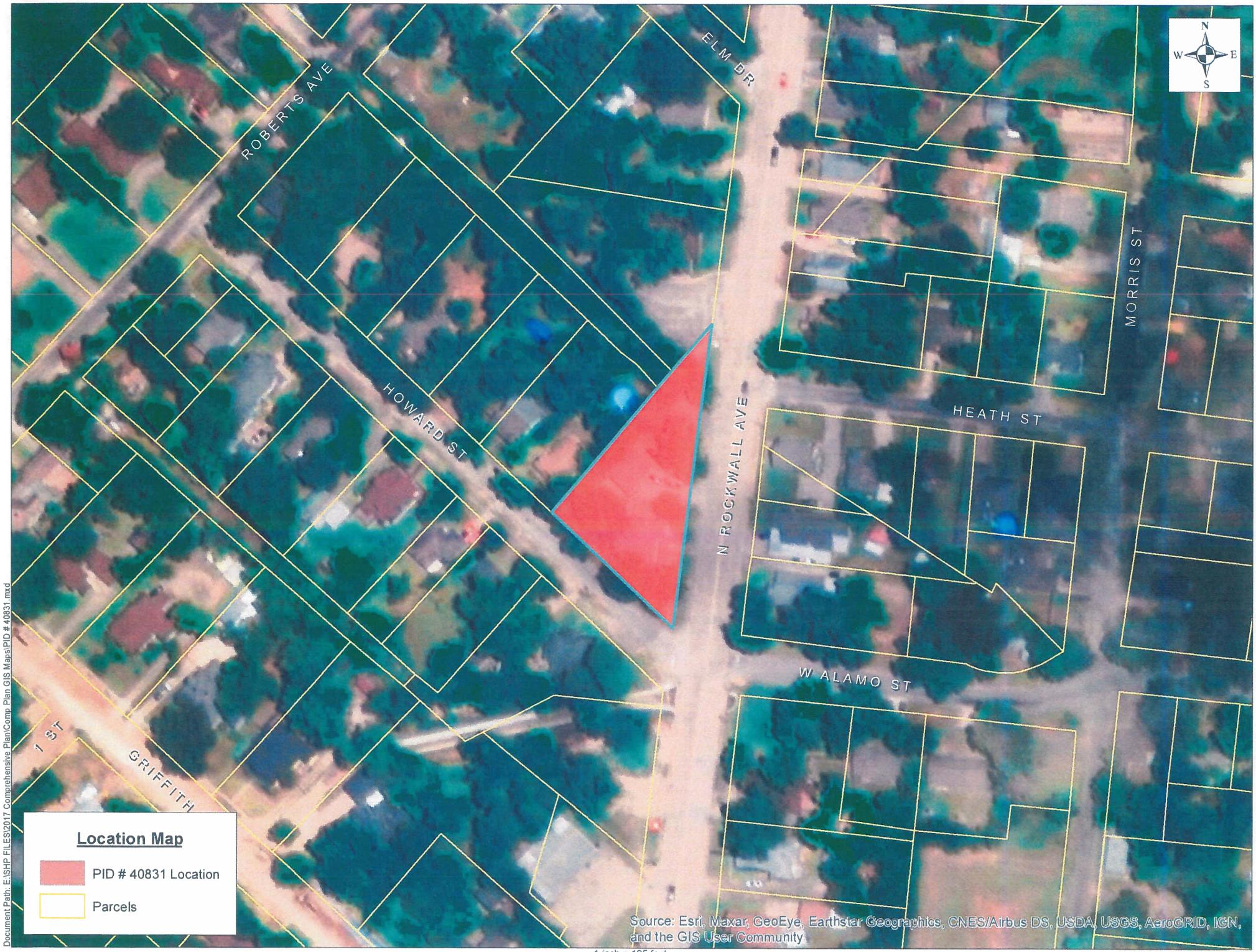
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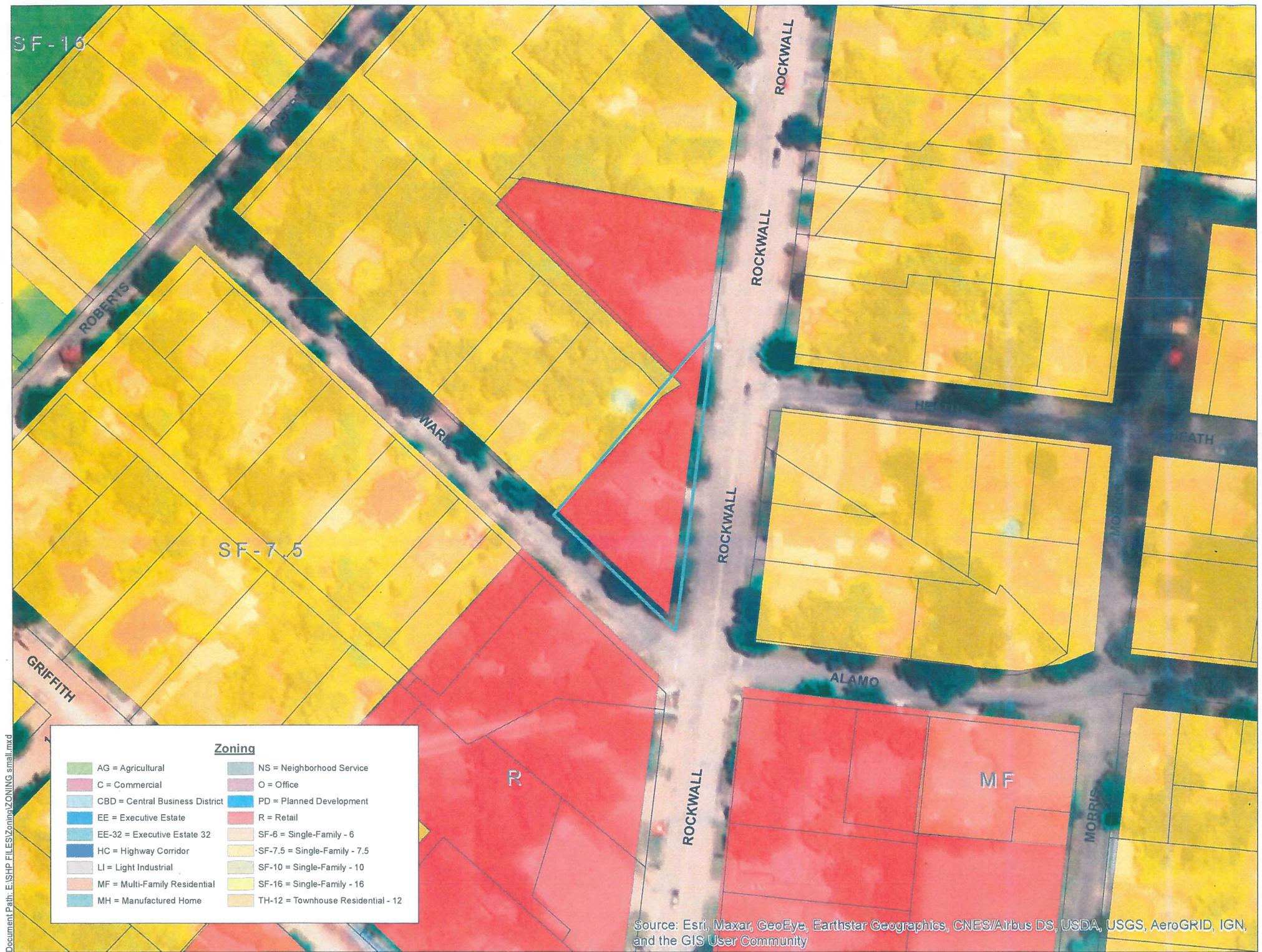
Dawn Steil, City Secretary

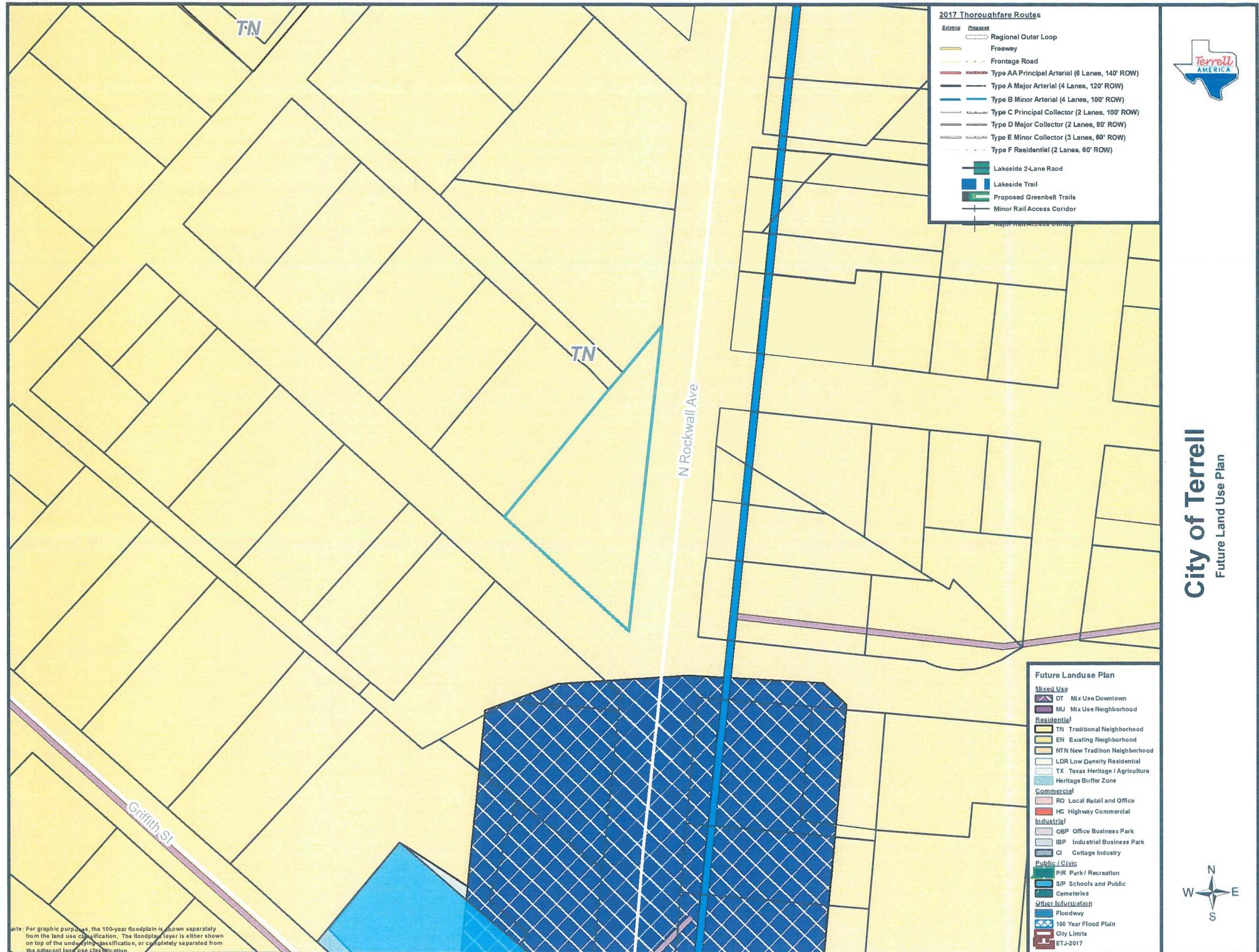
Approved as to Form:

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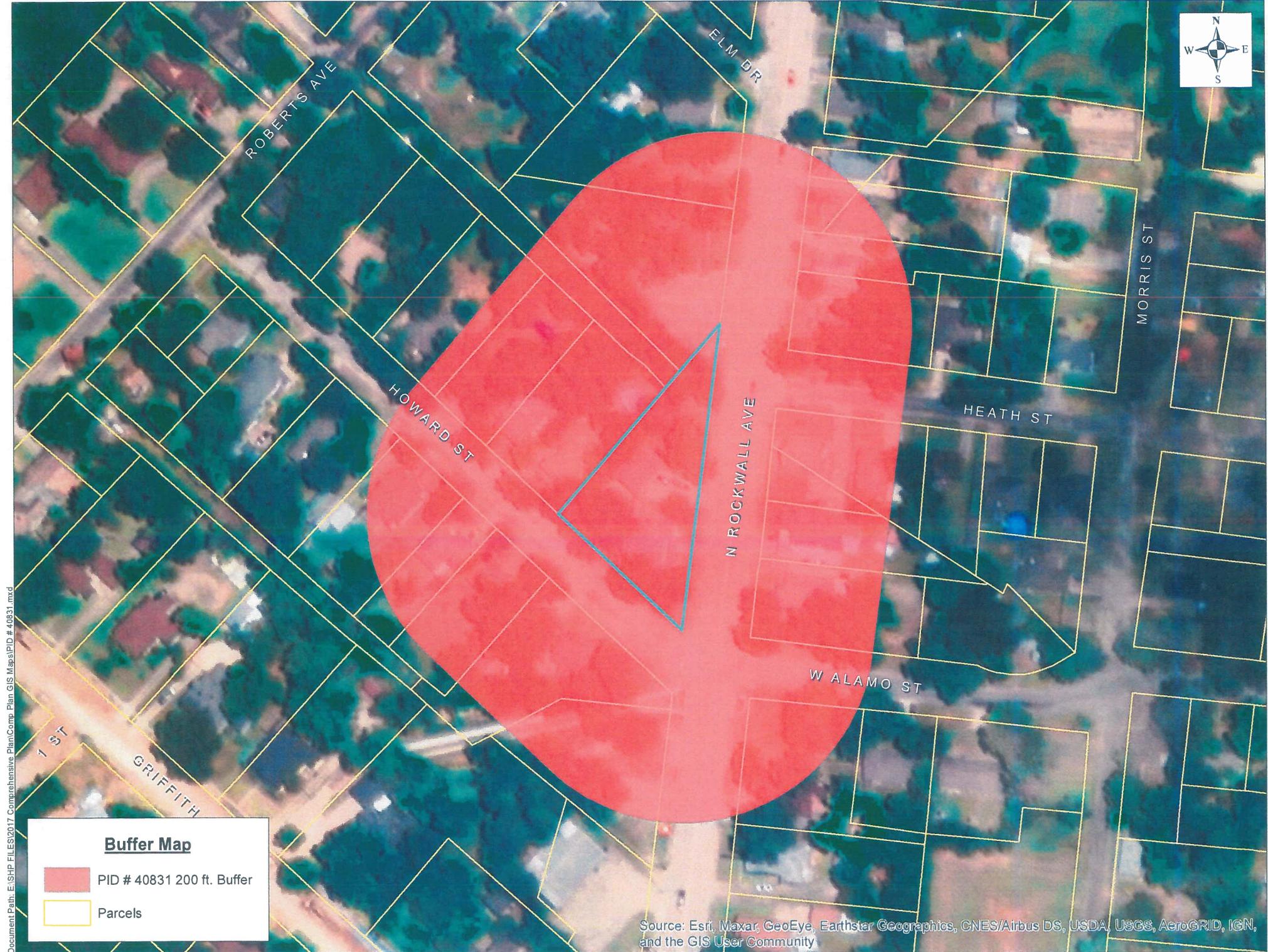
Mary Gayle Ramsey, City Attorney







<b>Existing Traditional Neighborhoods</b>	
<b>Purpose and intent</b>	
<ul style="list-style-type: none"> <li>• To maintain quality of the existing traditional neighborhoods</li> <li>• To preserve character and context of existing traditional neighborhoods</li> <li>• To encourage infill and redevelopment in keeping with the design of existing neighborhoods</li> </ul>	
<b>Land use types and density</b>	
<ul style="list-style-type: none"> <li>• Historic buildings to maintain their original intent (mostly single family) while allowing garage apartments/granny flats</li> <li>• Transition to downtown with denser urban residential infill where appropriate (e.g. townhomes, courtyard apartment buildings, and cottage courts)</li> <li>• Density based on existing neighborhood context</li> </ul>	
<b>Design priorities</b>	
<ul style="list-style-type: none"> <li>• Encourage renovation and infill design that is in keeping with historic structures</li> <li>• Prioritize the maintenance of existing streets and sidewalks</li> <li>• Explore opportunities to create new infill pocket parks and/or playgrounds in addition to maintaining existing parks</li> <li>• Provide additional trail connections</li> <li>• Connect to new adjoining neighborhoods</li> <li>• Step up code enforcement</li> </ul>	
<b>Zoning Recommendations</b>	
<ul style="list-style-type: none"> <li>• Explore the creation of a "conservation neighborhood" overlay or zoning district to preserve, enhance, and maintain the neighborhood character and prevent further deterioration</li> <li>• Explore the creation of historic preservation standards to protect the community's beloved neighborhoods in keeping with the Secretary of the Interior Standards for Historic Preservation</li> <li>• Evaluate current zoning to eliminate any incompatible zoning with respect to density and building design</li> </ul>	



## Parcel ID

PROP_ID	owner_name	addr_line1	addr_line2	addr_line3	addr_city	addr_state	addr_zip
23264	AQUIRRE IRMA		105 HOWARD ST		TERRELL	TX	75160
23265	KIZZIAR ALVIN D		103 HOWARD		TERRELL	TX	75160
23266	KAGEY TYLER J		101 HOWARD ST		TERRELL	TX	75160
23267	SAAVEDRA PEDRO & LETICIA		8309 CO RD 301		TERRELL	TX	75160-7736
23269	ADAMS AARON & JUSTIN		9201 GARLAND RD #319		DALLAS	TX	75218
23270	ADAMS AARON & JUSTIN		9201 GARLAND RD #319		DALLAS	TX	75218
23271	PETRE SOPHIE		106 HOWARD ST		TERRELL	TX	75160-2105
23276	LEE GARY & LAURA		805 N ROCKWALL		TERRELL	TX	75160
23277	THOMAS DAVID A III		803 N ROCKWALL		TERRELL	TX	75160
33325	SILVER SAGE DEVELOPMENT LLC		4110 WATERSEDGE CT		ROWLETT	TX	75088
33329	DODSON GERELDENE		3139 OAK DR		ROCKWALL	TX	75032-5846
33330	KINES GWENDOLYN D		401 N ANN ST	SUITE B	TERRELL	TX	75160
33330	KINES GWENDOLYN D		401 N ANN ST	SUITE B	TERRELL	TX	75160
33331	HERNANDEZ SALVADOR		808 E COLLEGE		TERRELL	TX	75160
33332	CLARK BEN W & HELEN		808 N ROCKWALL		TERRELL	TX	75160
40648	PETTENGILL ROBERT L		708 N ROCKWALL AVE		TERRELL	TX	75160
40657	BALTAZAR TERESA & VANESSA BARRERA		309 HEATH ST		TERRELL	TX	75160-2156
40658	CARPENTER		706 GRIFFITH		TERRELL	TX	75160

PROP_ID	owner_name	addr_line1	addr_line2	addr_line3	addr_city	addr_state	addr_zip
	GROUP		AVE				
40659	KOLMER STEPHEN & RHONDA RORK		802 N ROCKWALL		TERRELL	TX	75160
40831	GIDDINGS- MATHEWS MICHELLE D & EDWARD A		801 N ROCKWALL AVE		TERRELL	TX	75160
40832	REYES ARACELI		705 N ROCKWALL		TERRELL	TX	75160
40836	LOCHHEAD RANDY A ETAL		P O BOX 798		TERRELL	TX	75160



**Agenda Item No. 10**

**Planned Development SF-7.5**  
**Terrell Revised, Lot 1PT, Block 632**  
**being 8.972 acres**  
**(PD 21-02)**

**Planning and Zoning Commission Meeting:**

April 22, 2021

**Existing Zoning:**

Single-Family 7.5

---

**Location:** Being 8.972 acres of land Terrell Revised, Lot 1PT, Block 632, City of Terrell, Kaufman County, Texas.

**Owner/Applicant:** AHL BUILDERS LLC

---

**Background:**

The applicant has submitted a Planned Development Single Family-7.5 (PD SF-7.5) on 8.972 acres of land Terrell Revised, Lot 1PT, Block 632, City of Terrell, Kaufman County, Texas. This property is located on the southwest corner of Rose Street and N. State Highway 34. The property is currently zoned Single-Family 7.5.

The Planning & Zoning Commission and City Council approved the original Planned Development in 2020 under Planned Development PD 20-05. Planned Development PD 21-02 will be amending the original Planned Development PD 20-05. The underlying zoning will remain SF-7.5; however, the Planned Development Overlay Ordinance will have certain conditions attached to the property (see ordinance attached). Anything not addressed in the overlay ordinance as a condition will revert to the standard SF-7.5 zoning. A few conditions of the PD are as such:

- A. The development will also contain a trail and a park for the residents, maintained by The HOA.
- B. There have been other negotiated efforts to enhance the quality of this standard development.
- C. There will be nice entryways into the development.
- D. The minimum lot size will be 6,000 square foot.
- E. The minimum house living space will be 1,800 square feet.

The amendment Planned Development ordinance addresses the width of two lots only; all other conditions of the original approved Planned Development remain the same.

Municipal Development Department sent out 41 letters, as of April 19, 2021 staff has received 1 letters in favor of the PD and 1 opposing the PD.

**Staff Recommendation:**

This is a simple amendment that does not affect the density nor the quality of the original Planned Development. Staff recommends the approval of the new ordinance amending the Planned Development to address widths of two lots within the original approved PD 20-05.

**Attachments:**

Application  
Ordinance Amending Planned Development Single Family-7.5 and Exhibits  
Location Map  
Zoning Map  
Buffer Map  
Comprehensive Plan Insert Traditional Neighborhood  
Future Land Use map



# City of Terrell

## ZONING or SUP Application

### PLANNING AND ZONING COMMISSION

City of Terrell  
201 E. Nash  
P.O. Box 310  
Terrell, TX 75160

#### Property Owner Information:

Owner: AHL Builders LLC (Bill Mashhood) Phone No.: 845 671 9628 Fax No.: \_\_\_\_\_  
Cell No.: 845 671 9628 E-Mail: billm@ahlbuilders.com  
Address: 935 W Exchange Pkwy, Suite 150, Allen TX 75013  
Owner Signature: Bill Mashhood

If the property owner is represented by an authorized agent, please complete the following:

Agent: SHAHNAZ TALUKDER AIA Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_  
Cell No.: 5735291551 E-Mail: iXDzn.Studio@gmail.com  
Address: Plano, TX  
Agent Signature: Shahnaz Talukder

#### Existing Property Information:

Lot: LOT 1 Block: TERRELL REV BLOCK 632  
Subdivision: \_\_\_\_\_ No. of Lots: \_\_\_\_\_  
Survey abstract & acreage: 8.972 ACRES  
Address: 0000 HWY 34, TERRELL REV BLOCK 632 LOT 1 PT, TERRELL, TX

Current zoning district (Please note chart below): SF- 7.5

(AG)	AGRICULTURE	(NS)	NEIGHBORHOOD SERVICES
(SF-16, SF-10, SF-7.5, SF-6)	SINGLE-FAMILY RESIDENTIAL	(R)	RETAIL
(TH-12)	TOWNHOUSE RESIDENTIAL	(CBD)	CENTRAL BUSINESS DISTRICT
(MF-22)	MULTI-FAMILY RESIDENTIAL	(C)	COMMERCIAL
(MH)	MANUFACTURED HOME	(LI)	LIGHT INDUSTRIAL
(O)	OFFICE	(PD)	PLANNED DEVELOPMENT

#### Application Request:

Zone Change

Specific Use

Use or Zoning Requested: SF-6

Reason for Request: Maximize number of Residential lots (12 extra units) without compromising the highest quality established by the City of Terrell for this new neighborhood development.

Offer affordable and high quality residential units (2000 sqft., based on current market) to more homeowners .

*The Municipal Development Department will only accept complete applications. This includes a completed application form, proof of ownership, non-refundable filing fee made payable to the City of Terrell, legal description or surveyed plat drawn by a Licensed Surveyor, and a Comprehensive Site Plan (if applicable). Planning & Zoning Commission meetings are held on the 4<sup>th</sup> Thursday of each month at 5:30 p.m. Applications are due thirty (30) days prior to the meeting date.*

#### Office Use Only:

- Complete Application
- \$200.00 Fee
- Proof of Ownership
- Surveyed Plat
- Comprehensive Site Plan (for PD or SUP)

Received By: \_\_\_\_\_  
Filing Date: \_\_\_\_\_  
Planning & Zoning Date: \_\_\_\_\_  
1<sup>st</sup> City Council Date: \_\_\_\_\_  
2<sup>nd</sup> City Council Date: \_\_\_\_\_

Ordinance No. \_\_\_\_\_

Page 1 of 2

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TERRELL, KAUFMAN COUNTY, TEXAS, PLANNED DEVELOPMENT 21-02 (PD 21-02) AMENDING PLANNED DEVELOPMENT PD 20-05 (PD 20-05), IN THE MANNER SHOWN IN THE REVISED NORTHSIDE ADDITION SUBDIVISION DEVELOPMENT CONCEPTUAL DRAWINGS AND THE REVISED NORTHSIDE ADDITION DEVELOPMENT STANDARDS COPIES OF WHICH ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" AND MADE A PART HEREOF FOR ALL PURPOSES; PROVIDING FOR THE REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS** on the 22<sup>nd</sup> day of April, 2021, the Planning and Zoning Commission conducted a public hearing and approved Planned Development PD 21-02 (PD 21-02) amendment to Planned Development PD 20-05 (PD 20-05), in the manner shown in the revised Northside Addition Subdivision Development Conceptual Drawings and the revised Northside Addition Development Standards copies of which are attached hereto as Exhibits "A" and "B" and made a part hereof for all purposes.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TERRELL, KAUFMAN COUNTY, TEXAS;**

**ARTICLE I.**

**THAT** Planned Development PD 21-02 (PD 21-02) is hereby in the manner shown in the revised Northside Addition Development Conceptual Drawings and the revised Northside Addition Development Standards copies of which are attached hereto as Exhibits "A" and "B" and made a part hereof for all purposes.

**ARTICLE II.**

All Ordinances or parts of Ordinances in conflict herewith are to the extent of such conflict hereby repealed.

**ARTICLE III.**

It is hereby declared to be the intention of the City Council of the City of Terrell, Texas, that the sections, paragraphs, sentences, clauses and phrases of this Ordinance are severable and, if any phrase, clause, sentence, paragraph, or section of this Ordinance shall be declared unconstitutional by the valid judgement or decree of any court of competent jurisdiction, such unconstitutionality shall not effect any of the remaining phrases, clauses, sentences, paragraphs and sections.

#### **ARTICLE IV.**

All other provisions of Appendix 2 not expressly modified by this Ordinance shall remain in full force and effect.

#### **ARTICLE V.**

This Ordinance will take effect immediately after its passage and the publication of the caption, as the law in such cases provides.

**PASSED AND APPROVED** this the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

**PASSED AND ADOPTED** this the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

---

E. Rick Carmona, Mayor

Attest:

---

Dawn Steil, City Secretary

Approved as to form:

---

Mary Gayle Ramsey, City Attorney

1

2

3

4

5

# NORTHSIDE ADDITION SUBDIVISION DEVELOPMENT

## PROPOSED CONCEPTUAL DRAWINGS

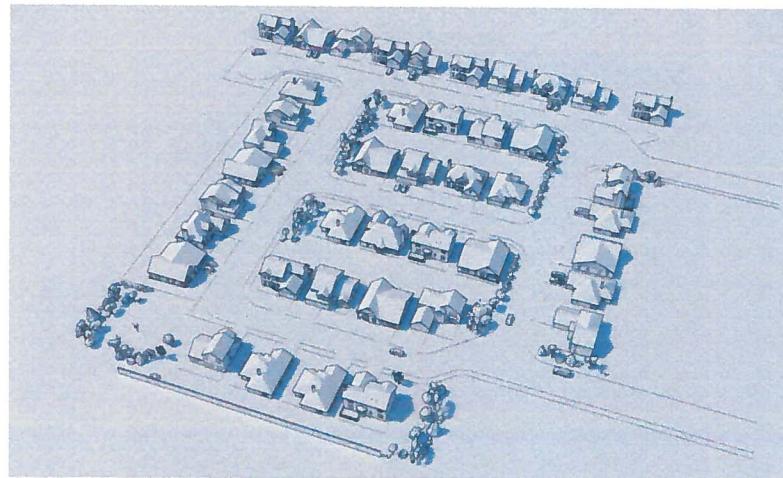
Terrell Rev Block #632  
Terrell, TX 75160

### OWNER

BILAL MASHHOOD  
3286 WOODBINE TRAIL,  
FRISCO TX 75034  
billm@supernovasolutions.com

### ARCHITECT

iXD Design Studio  
CONTACT: SHAHNAZ TALUKDER AIA,  
PLANO, TX 75025  
PHONE: 573.529.1551  
EMAIL: iXDzn.Studio@gmail.com



SITE LOCATION



SEAL:

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ENGINEER:

## EXHIBIT A

### NORTHSIDE ADDITION SUBDIVISION DEVELOPMENT

Terrell Rev Block #632  
Terrell, TX 75160

KEY PLAN

### SHEET INDEX

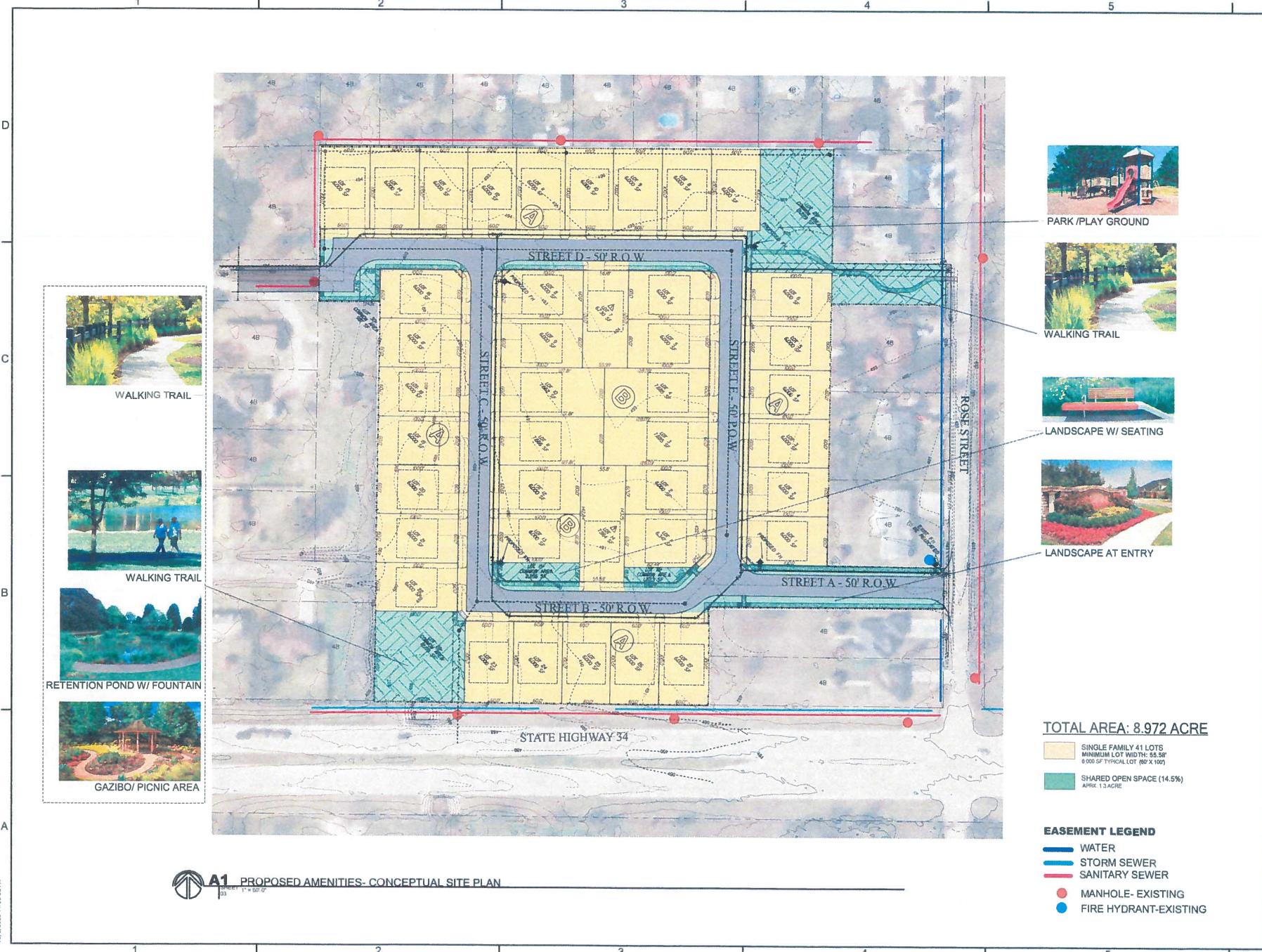
1. SHEET 01 : COVER SHEET
2. SHEET 02 : SURVEY
3. SHEET 04 : PROPOSED SITE PLAN- SERVICE & EASEMENT LOCATION
4. SHEET 03 : PROPOSED SITE PLAN- DIMENSION
5. SHEET 05 : AERIAL VIEW
6. SHEET 06 : PROPOSED LOT & TYPICAL FLOOR PLAN
7. SHEET 07 : PROPOSED TYPICAL RESIDENTIAL UNIT ELEVATION

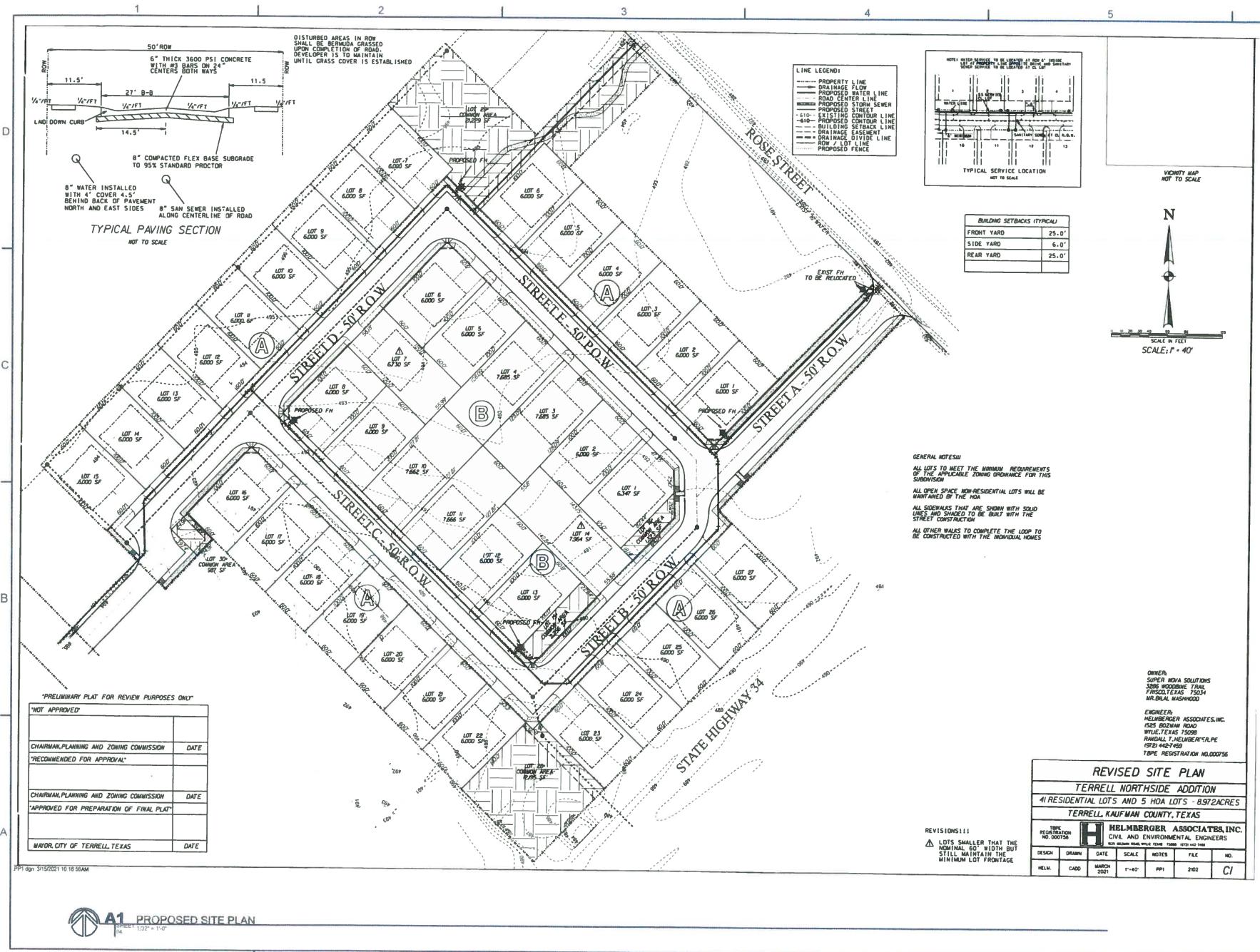


### COVER SHEET

### SHEET 01







SEAN

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#### ENGINE

## EXHIBIT A

## **NORTHSIDE ADDITION SUBDIVISION DEVELOPMENT**

TERRELL REV BLOCK #32  
TERRELL, TX 75160

KEY P

OWNER:  
SUPER NOVA SOLUTIONS  
3286 WOODBINE TRAIL  
FRISCO, TEXAS 75034  
MR. BHAL MASHWOOD

ENGINEERS  
HELMBERGER ASSOCIATES, INC.  
1525 BOZMAN ROAD  
WYLIE, TEXAS 75098  
RANDALL T. HELMBERGER, P.E.  
19721 442-7459  
TBPE REGISTRATION NO. 00007

**REVISED SITE PLAN**

TERRELL NORTHSIDE ADDITION  
TENTIAL LOTS AND 5 HOA LOTS - 8.972ACRES  
TERRELL, KAUFMAN COUNTY, TEXAS

REVISIONS!!!

**H** HELMBERGER ASSOCIATES, INC.  
CIVIL AND ENVIRONMENTAL ENGINEERS  
1025 BELMONT ROAD, WILMINGTON 75000 404/342-7468

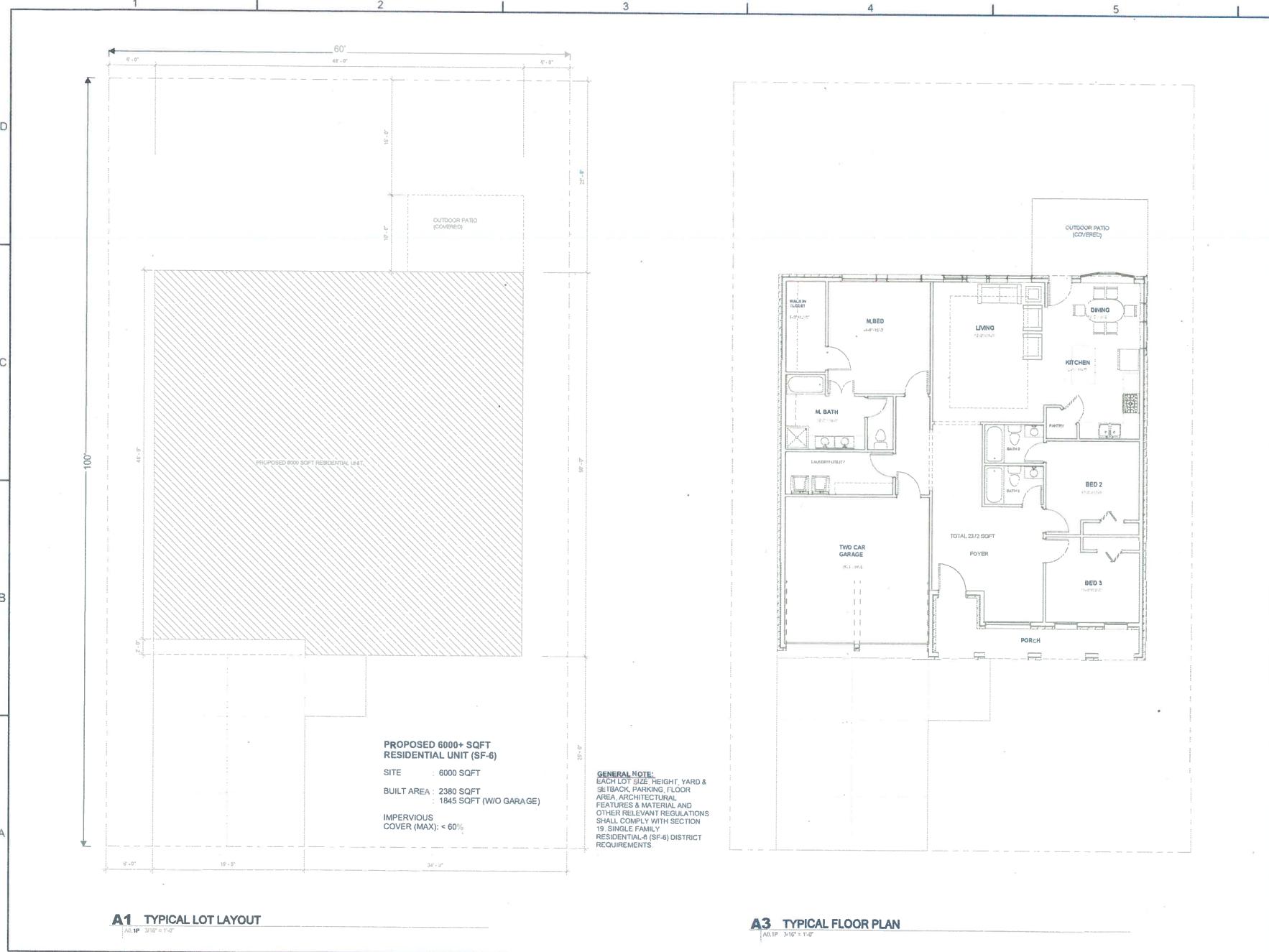
Revisions:	
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## CONCEPTUAL SITE PLAN

SHEET 04



310/7/2020 3.01 53 PM



## EXHIBIT A

### NORTHSIDE ADDITION SUBDIVISION DEVELOPMENT

Terrell Rev Block #632  
Terrell, TX 75160

KEY PLAN



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## EXHIBIT A

## NORTHSIDE ADDITION SUBDIVISION DEVELOPMENT

Terrell Rev Block #632  
Terrell, TX 75160

## KEY PLATE

## Revisions

03/20/2021 ISSUE FOR ZONING/SUP APPLICATION  
NO DATE DESCRIPTION

## PROPOSED TYPICAL RESIDENTIAL UNIT ELEVATION

SHEET 07

# Exhibit B

## The Northside Addition

03/26/2021

### Development Standards

Planned Development Regulations +  
8.79 Acres

The Northside Addition is approximately 8.792 acres of land located between Rose Street and East McCoulskey Street, north of Callie Street (State Highway 34), within the corporate limits of the City of Terrell. The subject property shall be developed in accordance with the City of Terrell Zoning Ordinance for Single Family Residential 6 (SF-6) District and the City of Terrell Subdivision Ordinance, as amended, and shall conform to the following conditions and requirements stated herein:

#### Single Family Section

##### **1. Zoning Exhibits**

- a. The development shall generally be in accordance with the Exhibit, Preliminary Concept Plan, including the location, orientation, and size of various lots and open spaces.

##### **2. Lot Design Criteria**

- a. The maximum lot count for the subject property shall be 41 residential lots.

##### Building Setbacks:

Minimum Lot Area:	6,000 sq. ft
Minimum Lot Width:	55.58 feet
Minimum Lot Depth:	100 feet
Front Yard Setback:	25 feet
Side Yard Setback:	6 feet
Rear Yard Setback:	25 feet
Maximum Lot Coverage:	< 60%

Front Entry Garage Setback 20 feet from edge of sidewalk.

- c. Side lot lines shall be permitted to be non-radial to the street right-of-way.
- d. The maximum block length shall not exceed one-hundred feet (100') above what is shown on the Concept Plans provided.
- e. Minimum road centerline offset shall be 193'.

##### **3. Open Space**

- a. The minimum amount of non-contiguous open space within the Planned Development shall be over 1.3 acres. Proposed drainage or utility easements may be permitted in the calculation of common open space areas if contiguous to amenities including but not limited to lawns, trails, and/or play areas. Open space shall be per Concept Plan.
- b. Open spaces shall be internal to the Planned Development and may include but not limited to neighborhood pocket parks.
- c. Open spaces shall be owned and maintained by a Homeowners Association (HOA).

##### **4. Landscape and Streetscape Requirements**

- a. A minimum four-foot (4') wide sidewalk shall be located one-foot inside the public right-of-way and constructed at the time of home construction.

# Exhibit B

- b. A minimum of one (1) shade tree shall be required per lot; and one tree must be planted between the sidewalk and the pavement area to create a street canopy. A streetscape and detailed utility assignment with tree layout, fire hydrant, utilities, streetlight etc....placement plan should be submitted prior to platting the property. All trees planted shall be a minimum of three (3) caliper inches upon install. Roads to be 29' back to curb, 14 ft from curb to edge of ROW.
- c. A sound barrier Fence shall be installed along the property line by the builder at the time of construction along Callie Street (SH34). Individual lot fencing paralleling the required landscape buffer shall be consistent in design, board width, material, and stain. Exterior facing boards shall be maintained with a consistent stain by the Homeowners Association (HOA).

## 5. Tree Preservation and Mitigation Requirements

- a. A tree Survey shall be prepared at the time of Construction Plat. The survey shall be provided based on a group sampling method versus an on the ground survey. The survey shall identify those trees only ten inches (10") or greater in diameter. Cedar trees to be excluded. Any required street and house pad will not count against tree requirement.
- b. The Builder shall install the required trees at the time of construction with the landscaping of the specific Lot.
- c. The proposed Planned Development shall satisfy the tree mitigation requirement with any trees planted in conjunction with the landscape buffers, street trees, trees installed on individual lots, and common open spaces will fulfill 100% of the obligation for tree mitigation and preservation.
- d. To the greatest extent possible existing tree canopy shall be preserved within proposed open space areas, except where prohibited by grading.

## 6. Character Elevations

- a. A combination of Smart Siding and/or Cementous fiber-board siding, Brick, Stone (per zoning guideline) will be an allowed masonry material.
- b. Exterior elevations will be constructed with a minimum of 100% masonry material on sides and 100% siding on the rear exclusive of windows, doors and anything above the plate-line of the first floor on a single-story residence and the second floor on a two-story residence. The front elevation of each house shall consist of at least 100% brick or stone and the front elevation will be a minimum of 35% brick or stone if it contains 3 other features. Awnings, shutters, and different architectural elements will be encouraged for window treatments, porch floor material, etc. Double doors with unique designs will also be considered for this requirement.
- c. Porch elevations are required. Porches must cover 33% of the front width of the house or have a minimum width of 12 feet. Porches must be functional with a minimum depth of 4 feet. Porches will be allowed to extend 4 feet into the front yard setback.
- d. Mailboxes shall meet the minimum requirements set forth by the City of Terrell United States Postal Service. The developer shall coordinate with USPS regarding mailbox locations, if it is determined by the USPS that cluster mailboxes are not required, then builder may

# Exhibit B

elect to construct double mailboxes that may serve two residences and shall be placed at the common property line.

- e. Building elevations shall be permitted to repeat every three (3) lots on the same side of the street. The same elevation will not be permitted across the street.
- f. Mirror image floor plans shall be permitted and not considered duplicates for the purpose of lot spacing.

## 7. Garages

- a. Garages are permitted to face front and side property lines.
- b. Garages must be placed one foot behind the door or 4 feet behind the most extended elevation – porches with 4 feet of stone columns will be interpreted as elevation.
- c. A 19-foot setback is required from the garage door to the edge of the sidewalk when facing front to the property line.

## 8. Thoroughfares, Streets and Driveways

- a. The Concept Plan, as provided, shall satisfy any street curvilinear requirements.

## 9. Planned Development Amendments

- a. Except as otherwise provided, minor amendments shall be processed and approved by the Director of Municipal Development and shall not require approval by the Planning and Zoning Commission. The subject property shall generally conform to the layout as depicted in Exhibits, Preliminary Concept Plan.

9. A drainage easement must be proposed and placed on the property. The floodplain should contain a “cleanout” plan as well as be studied. A Detention lake serving for both an amenity and drainage should be considered.

10. Developer shall perpetually maintain all drainage areas may establish a Public Improvement District (PID), to facilitate the same. No Construction Plat shall be processed until such time as a method for perpetual maintenance of the drainage areas has been established. Large scale maintenance or work from developments upstream will not be the responsibility of the HOA. The HOA(s) or PID(s) shall be subject to the approval of the Municipal Development Director and formed by the home builders(s) prior to substantial completion of the finished lots and prior to the first home building permit being issued

11. All other park and common space areas must be owned by a homeowner’s association and maintained the association. The deed with the declarations should be forwarded at the time of the plat application. The HOA verbiage will also be placed on the Final Plat.

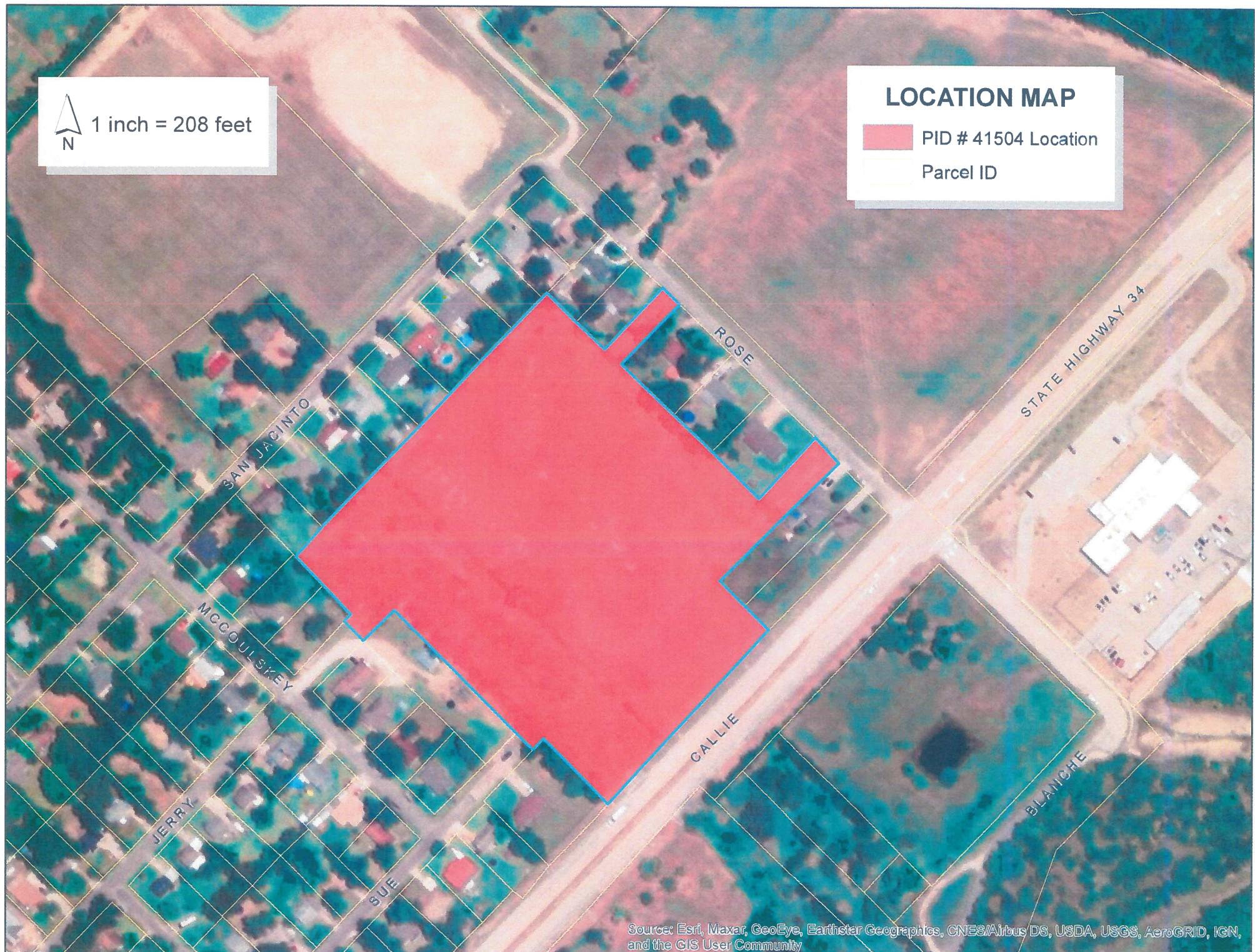
12. All development specifications for the public improvements including, but not limited to, roads, drainage, screening (per Development Agreement, sidewalks, street scape, etc. should be constructed according to the City of Terrell Subdivision Ordinance, and the Technical Construction Specifications developed by the City Engineering Department or per Development Agreement.

 1 inch = 208 feet  
N

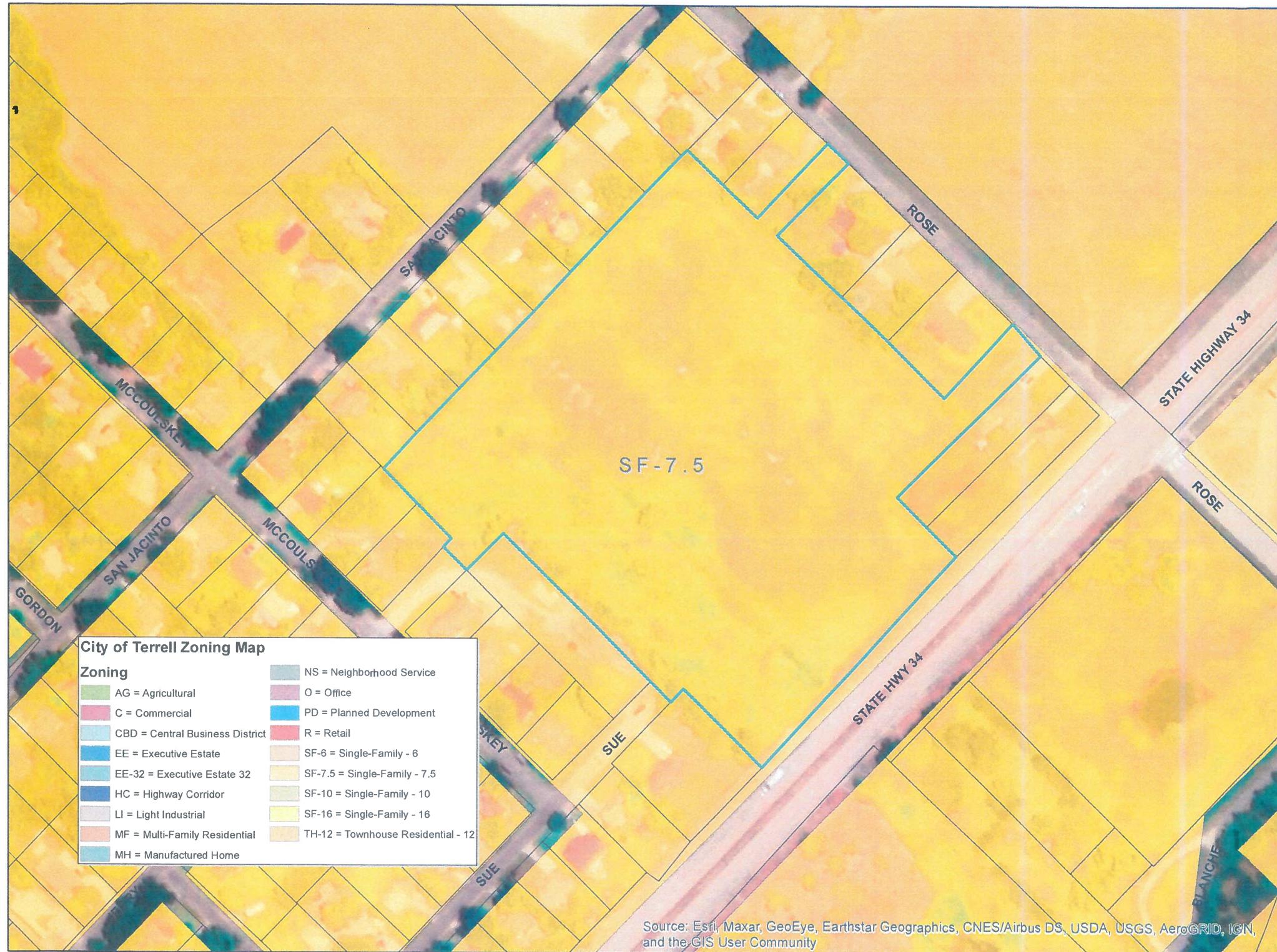
## LOCATION MAP

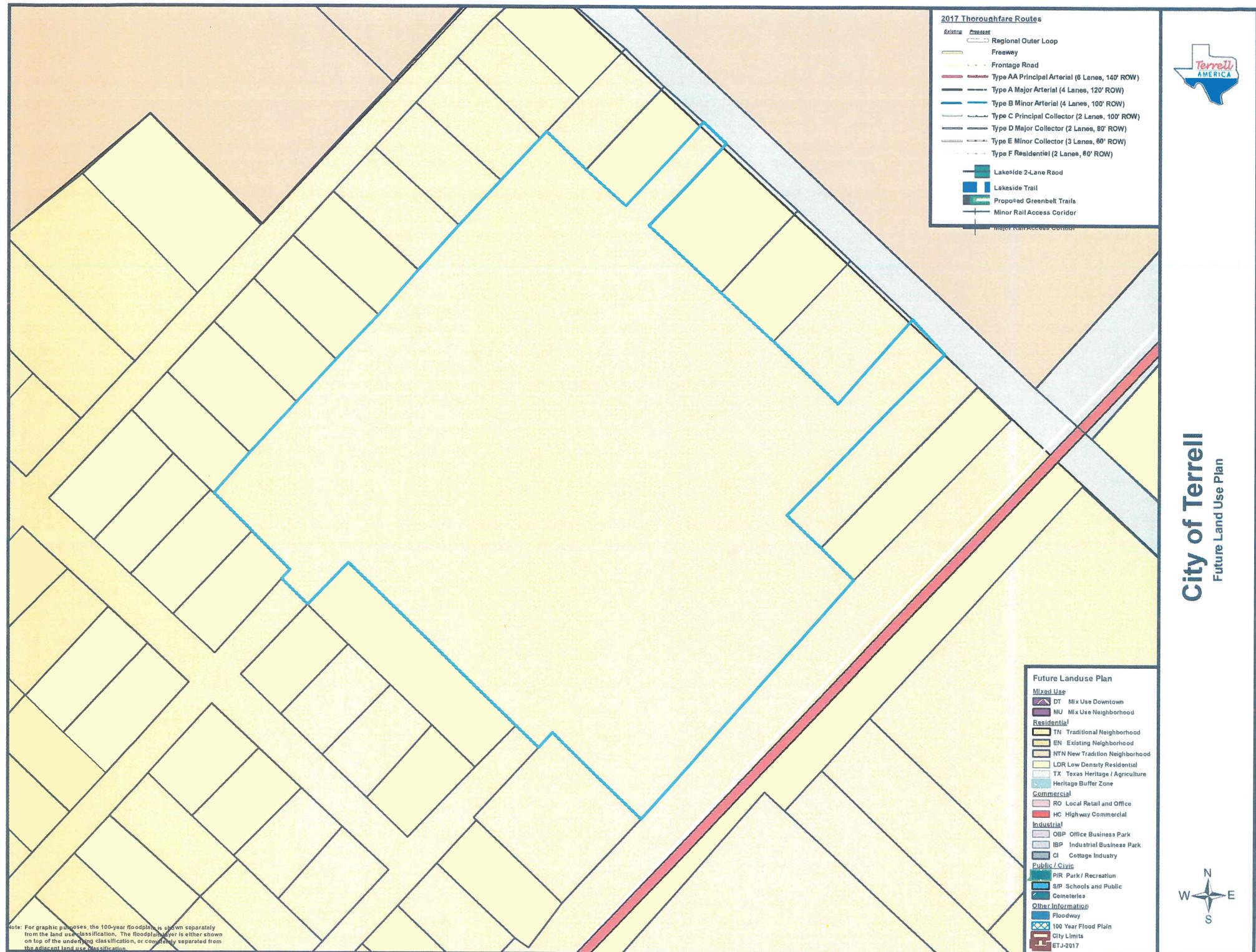
PID # 41504 Location

Parcel ID



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community





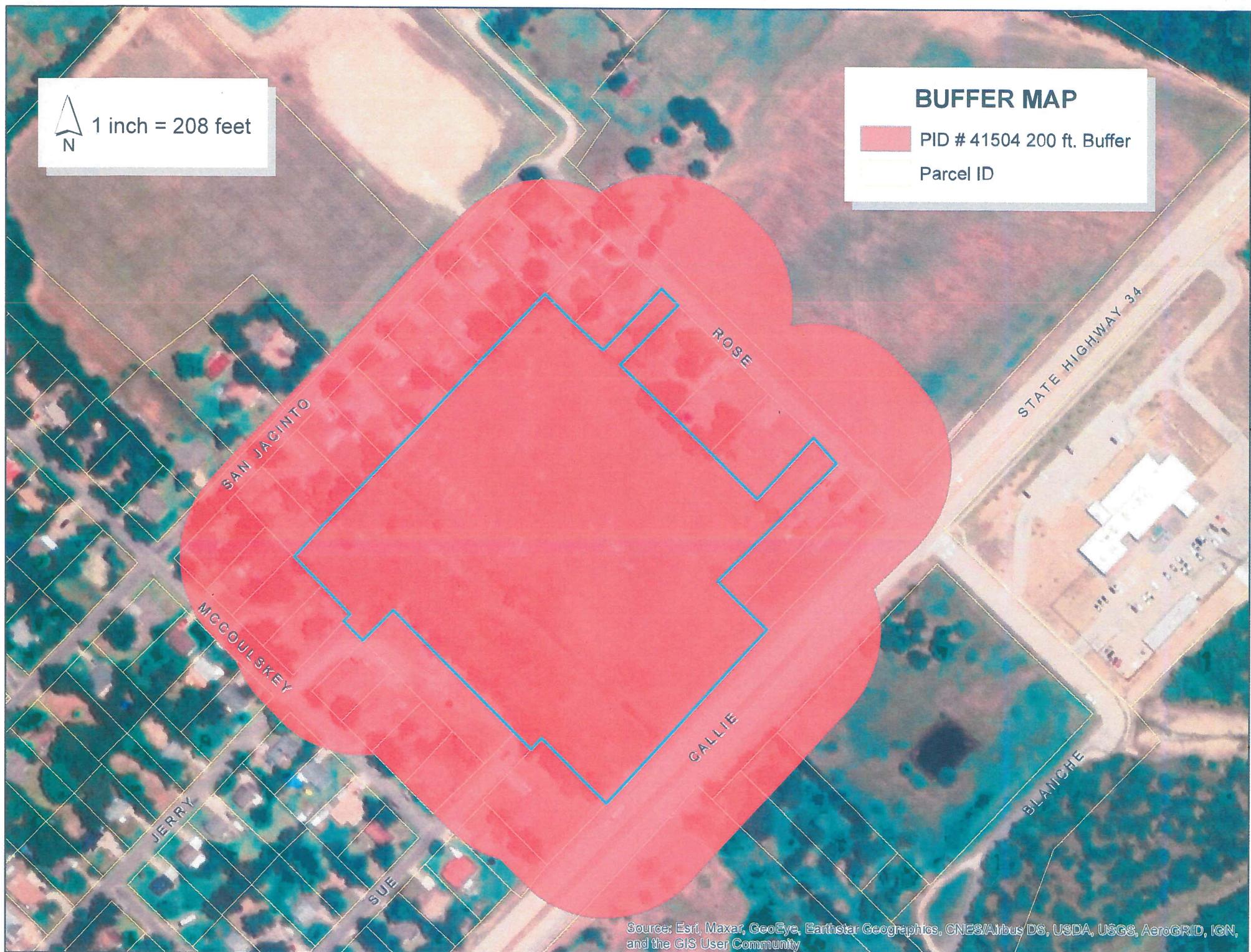
Existing Traditional Neighborhoods	
<b>Purpose and intent</b>	
<b>Land use types and density</b>	
<b>Design priorities</b>	
<b>Zoning Recommendations</b>	
	
	

 1 inch = 208 feet

## BUFFER MAP

PID # 41504 200 ft. Buffer

Parcel ID





Dear Madam or Sir:

A public hearing will be conducted by the **Planning and Zoning Commission on Thursday, April 22, 2021, at 5:30 p.m. in the City Council Chambers and by the Terrell City Council at 7:00 p.m. on Tuesday May 18, 2021**, in the City Council Chambers, 201 E. Nash St., Terrell, Texas to receive public comments regarding the following:

*Conduct a public hearing to discuss and consider a zone change from Single-Family 7.5 (SF-7.5) to Planned Development Single-Family 7.5 (PD SF-7.5) to allow a planned residential development to be developed under certain Single-Family 6 (SF-6) requirements on 8.972 acres of Terrell Revised, Block 632, Lot 1 PT, City of Terrell, Kaufman County, Texas. The property is located on the southwest corner of North State Highway 34 and Rose St. The property is currently zoned Single-Family 7.5 (SF-7.5). (PD 21-02)*

This notice is being sent to you because you own property within 200' of the property involved in this request. If you choose to attend this hearing, you will be given the opportunity to speak to the Planning & Zoning Commission in support or in opposition to the above request. **The City of Terrell will adhere to the current COVID-19 guidelines and only allow a very limited number of citizens into the meeting at a time to speak to the Commission in support or opposition to the request. Guests entering City buildings are required to wear face coverings.** All who attend will be given the opportunity to take a turn in the building for purpose of giving comments in person.

*Should you have any questions or need additional information please contact the City of Terrell, Municipal Development Department at 972-551-6600. Ext. 263*

*Sincerely,*

*J. Potts*

*Municipal Development Department  
City Of Terrell*

**This will be a part of the public record.**

**(PD 21-02)**

As a property owner within 200 feet of the property that is the subject of the above referenced case I am in

Favor

Opposition

for the following reasons:

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Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Letter Mail: 4/09/2021

**Please return to:**

**City of Terrell**

**Municipal Development Department**

**P.O. Box 310 Terrell, TX 75160**

# Parcel ID

PROP_ID	owner_name	addr_line1	addr_line2	addr_line3	addr_city	addr_state	addr_zip
5816	STATE OF TEXAS						
24592	SALAZAR ADOLFO G		202 E MC COULSKY		TERRELL	TX	75160
24593	SANCHEZ MARIO C & SILVIA E		204 E MC COULSKY		TERRELL	TX	75160
24594	GALVAN SANTIAGO & ALMA D RENDON		206 E MC COULSKY ST		TERRELL	TX	75160
24613	SANDERS W J & AUDREY		P O BOX 756		ROCKWALL	TX	75087
24614	NUNEZ MIGUEL ANGEL		304 EAST MC COULSKY		TERRELL	TX	75160
24636	VONNIVONG THONE & PHENG		212 SUE LANE		TERRELL	TX	75160
24637	COURTSIDE PROPERTIES LLC		4110 WATERSEdge CT		ROWLETT	TX	75088
24638	MARTINEZ JOSE	RAMON G & MARTINEZ	216 SUE LN		TERRELL	TX	75160
24639	SAAVEDRA PEDRO		8309 CO RD 301		TERRELL	TX	75160
24640	HAMILTON DON H		P O BOX 882		TERRELL	TX	75160
24641	SANDO HOMES LLC		1502 W MOORE AVE		TERRELL	TX	75160
24643	JOKAT REALTY LLC		309 FM 148 SUITE B		TERRELL	TX	75160
24644	WARD DONNA L		12037 CO RD 352		TERRELL	TX	75161
24645	LACOURSE ROBERT L		307 E MC COULSKY ST		TERRELL	TX	75160
32530	CLARK JAMES PHILLIP		1015 MERIDITH		TERRELL	TX	75160
32531	MIDDENDORFF LEONARD J & RENE M		1112 SAN JACINTO		TERRELL	TX	75160
32532	GOBER GREG		P O BOX 691		TERRELL	TX	75160

PROP_ID	owner_name	addr_line1	addr_line2	addr_line3	addr_city	addr_state	addr_zip
32533	PEREZ MANUEL ETAL		1116 SAN JACINTO		TERRELL	TX	75160
32534	JIMENEZ TIRZO M & HERMELINDA		1118 SAN JACINTO ST		TERRELL	TX	75160
32535	HAMILL JAMES C & ALMA R		1120 SAN JACINTO		TERRELL	TX	75160
32536	JIMENEZ TIRZO & HERMELINDA		300 ROSE		TERRELL	TX	75160
32537	MITCHELL PAMELA FAY		302 ROSE STREET		TERRELL	TX	75160
41493	SAMARRIPA RAMIRO	& MARLEEN YEBERINO	6231 SUE ANN LN		TERRELL	TX	75161
41495	GODOY ADRIAN & MIRNA SERRANO		1101 SAN JACINTO		TERRELL	TX	75160
41496	GRIFFITH ROBERT & NHI T NGUYEN		2185 CO RD 2526		QUINLAN	TX	75474
41497	MARTIN TIMOTHY FRANKLIN JR & NIKKI LOVE		11658 FM RD 751		WILLS POINT	TX	75169
41498	LONG CREEK INVESTMENTS LLC		529 LARKIN ROAD		SUNNYVALE	TX	75182
41499	GRIFFITH ROBERT & NHI T NGUYEN		2185 CO RD 2526		QUINLAN	TX	75474
41502	3 S D INC		P O BOX 568		TERRELL	TX	75160
41504	AHL BUILDERS LLC - B632L1		3286 WOODBINE TRL		FRISCO	TX	75034
41505	LAWHORN WAYNE & JANICE		1102 SAN JACINTO		TERRELL	TX	75160
41506	HAMILTON DON H & RONDA		P O BOX 882		TERRELL	TX	75160
41507	DRY BETTY &	LAVANDA H KENNIMER	1106 SAN JACINTO DR		TERRELL	TX	75160
41508	PHILLIPS BOBBY		1108 SAN		TERRELL	TX	75160

PROP_ID	owner_name	addr_line1	addr_line2	addr_line3	addr_city	addr_state	addr_zip
41509	J LARKEN PROPERTIES		JACINTO 401 E MOORE		TERRELL	TX	75160
41510	RICHARDS LANNA K & BULLARD STEVEN R		310 ROSE ST		TERRELL	TX	75160
41511	HAMILTON RONDA L		18865 FM RD 429		TERRELL	TX	75161
41512	SALAZAR SAN JUANITA		306 ROSE STREET		TERRELL	TX	75160
41516	ARTEAGA ONESIMO		917 N BLANCHE		TERRELL	TX	75160
41517	GUTIERREZ JOSE ALFREDO & MARIA		2435 DEACON DR		FORNEY	TX	75126-4068
41518	GUTIERREZ JOSE ALFREDO & MARIA		2435 DEACON DR		FORNEY	TX	75126-4068
41520	GUTIERREZ JOSE ALFREDO & MARIA		2435 DEACON DR		FORNEY	TX	75126-4068
181822	LANDA ANDRES		301 E MC COULSKY ST		TERRELL	TX	75160
181960	GRIFFIN RANDY		205 E MC COULSKY		TERRELL	TX	75160
182236	JOKAT REALTY LLC		309 FM 148 SUITE B		TERRELL	TX	75160
203667	LARKEN PROPERTIES		401 E MOORE		TERRELL	TX	75160

This will be a part of the public record.

(PD 21-02)

As a property owner within 200 feet of the property that is the subject of the above referenced case I am in

Favor

Opposition

for the following reasons:

CREATING A DANGEROUS  
TRAFFIC SITUATION

SEE ATTACHED

Name: Larken Properties

Address: 401 E. Moore Ave Terrell TX { 320 - Rose  
322 - Rose

Signature: Ken Larken General Partner

Letter Mail: 4/09/2021

Please return to:

City of Terrell

Municipal Development Department

P.O. Box 310 Terrell, TX 75160

LARKEN PROPERTIES

401 E. MOORE

TERRELL , TX 75160

Larken Properties owns the houses at 320 and 322 Rose St in Terrell TX and is OPPOSED to the proposed zoning change. The site plans call for around 45 homes and at an average of two cars per house hold the increased traffic flow on this residential short street will be anywhere from 90 to 180 cars per day leaving and returning to this housing development. Both entrance points on Rose are located between two single family homes and this amount of traffic flow will be a major disturbance day and night less than 20 feet from the homes.

Rose is a very short street and this amount of traffic will cause a back up on Rose blocking the driveways of the residents while the increased traffic stands waiting to turn onto 34. Plus there is the possible back up on 34 since the turn lane from 34 to Rose is not adequate to hand this amount of daily increased traffic. And most importantly, this is a family neighborhood with children playing in their front yards and to increase the daily traffic flow to a possible 180 cars per day on a street with no side walks is creating a very dangerous situation.

Thank you

Ken Juricek

General Partner, Larken Properties

As a property owner within 200 feet of the property that is the subject of the above referenced case I am in

Favor

Opposition

for the following reasons:

- Enhanced Neighborhood
- New Homes
- Higher home Values

Name: Lubne Ishtiaque

Address: 3286 Woodbine Rd, Frisco Tx 75034

Signature: Lubne Ishtiaque

Letter Mail: 4/09/2021

Please return to:

City of Terrell

Municipal Development Department

P.O. Box 310 Terrell, TX 75160



**Agenda Item No. 11**

**Planned Development PD (HC) Mixed Use  
Block A, Lots 1,2,5 & 6 and Block B, Lot 2  
Tanger Addition, Terrell, Texas  
(PD 21-01)**

**Planning and Zoning Commission:**

**April 22, 2021**

**Existing Use:**

**Commercial**

**Existing Zoning:**

**Commercial**

**Proposed Zoning:**

**Planned Development**

**Background:**

The subject tract are located to the east side of the property currently know at The Shops of Terrell. The applicant is requesting a Planned Development to construct a mix use development consisting of apartment's types, including low to mid-rise multi-family buildings and town homes with some ground level retail on pads adjacent to the property located at 301 Tanger Drive, City of Terrell, Kaufman County, Texas.

**Current:**

The current zoning of the property is Commercial (C).

**Technical Issues:**

- The proposed planned development does not comply with the Comprehensive Plan.
- The Future Land Use calls out for this property to be zoned Highway Corridor. The proposal does not meet the Future Land Use category in any way.
- The proposed Planned Development verbiage submitted by the applicant is written in a way that contains an opportunity for mostly multi-family.

**Staff Recommendation:**

The Highway Corridor (HC) District is intended to provide a regional destination experience for high quality commercial and retail. The characteristics of the Highway Corridor and the regional destination are typically major national retail consisting of approximately 300,000 square feet and/or containing at least two major department stores. Multi-family is not at all an attribute of the Highway Corridor District. Staff does not support the requested change of the proposed Planned Developed with its incompatibility to the Future Land Use plan and Comprehensive Plan for the City of Terrell.

**Attachments:**

1. Application
2. Ordinance/Exhibit
3. Site Plan
4. Concept Plan
5. Location Map
6. Zoning Map
7. Future Land Use/Highway Corridor



# City of Terrell

## ZONING or SUP Application

### PLANNING AND ZONING COMMISSION

City of Terrell  
201 E. Nash  
P.O. Box 310  
Terrell, TX 75160

#### Property Owner Information:

Owner: WOODMONT TERRELL L.P. Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_  
Cell No.: 810 612 2605 E-Mail: tice@synderbrown.com  
Address: 194 E 2<sup>ND</sup> ST. APT 4D NEW YORK NY 10009

Owner Signature: SEE ATTACHED

If the property owner is represented by an authorized agent, please complete the following:

Agent: MASTERPLAN/KARL CRAWLEY Phone No. 214 761-9197 Fax No. 214 948-1114

Cell No.: \_\_\_\_\_ E-Mail: Karl@masterplantexas.com  
Address: 2201 MAIN ST, STE 1260 DALLAS TX 75201

Agent Signature: KarlCrawley

#### Existing Property Information:

Lot: 1 AN 2 Block: A  
Subdivision: TANGER ADDITION No. of Lots: 1

Survey abstract & acreage: RANSON SOWELL SURVEY, ABSTRACT NO. 443 - 43.24 AC

Address: 301 TANGER DRIVE

Current zoning district (Please note chart below):		R RETAIL	
(AG)	AGRICULTURE	(NS)	NEIGHBORHOOD SERVICES
(SF-16, SF-10, SF-7.5, SF-6)	SINGLE-FAMILY RESIDENTIAL	(R)	RETAIL
(TH-12)	TOWNHOUSE RESIDENTIAL	(CBD)	CENTRAL BUSINESS DISTRICT
(MF-22)	MULTI-FAMILY RESIDENTIAL	(C)	COMMERCIAL
(MH)	MANUFACTURED HOME	(LI)	LIGHT INDUSTRIAL
(O)	OFFICE	(PD)	PLANNED DEVELOPMENT

#### Application Request:

Zone Change

Specific Use

Use or Zoning Requested: PD FOR MIXED USES

Reason for Request: TO KNOW THE DEVELOPMENT OF THE VACANT PORTIONS  
OF THE SITE FOR A MIX OF RESIDENTIAL AND NON-RESIDENTIAL  
USES.

The Municipal Development Department will only accept complete applications. This includes a completed application form, proof of ownership, non-refundable filing fee made payable to the City of Terrell, legal description or surveyed plat drawn by a Licensed Surveyor, and a Comprehensive Site Plan (if applicable). Planning & Zoning Commission meetings are held on the 4<sup>th</sup> Thursday of each month at 5:30 p.m. Applications are due thirty (30) days prior to the meeting date.

#### Office Use Only:

- Complete Application
- \$200.00 Fee
- Proof of Ownership
- Surveyed Plat
- Comprehensive Site Plan (for PD or SUP)

Received By: \_\_\_\_\_  
Filing Date: \_\_\_\_\_  
Planning & Zoning Date: \_\_\_\_\_  
1<sup>st</sup> City Council Date: \_\_\_\_\_  
2<sup>nd</sup> City Council Date: \_\_\_\_\_

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TERRELL, KAUFMAN COUNTY, TEXAS, PROVIDING FOR THE CREATION OF A PLANNED DEVELOPMENT, HIGHWAY CORRIDOR MIXED USE, (PD 21-01) UNDER THE PROVISIONS OF §31A, APPENDIX 2, ZONING ORDINANCE OF THE CITY OF TERRELL ON CERTAIN REAL PROPERTY DESCRIBED AS LOTS 1 AND 2, BLOCK A, TANGER ADDITION TO THE CITY OF TERRELL CONSISTING OF A 42.8 ACRE TRACT OF LAND OUT OF THE RANSOM SOWELL SURVEY, ABSTRACT NO. 443, KAUFMAN COUNTY, TEXAS AND MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS ON THE PLAT THEREOF ATTACHED HERETO AS EXHIBIT "A" AND MADE A PART HEREOF FOR ALL PURPOSES, PROVIDING FOR THE REPEAL OF CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS** on the 22<sup>nd</sup> day of April, 2021, the Planning and Zoning Commission conducted public hearing and approved the creation of a Planned Development, Highway Corridor Mixed Use, (PD 21-01), under the provisions of §31A, Appendix 2, Zoning Ordinance of the City of Terrell on certain real property described as Lots 1 and 2, Block A, Tanger Addition to the City of Terrell consisting of a 43.24 acre tract of land out of the Ransom Sowell Survey, Abstract No. 443, Kaufman County, Texas and more particularly described by metes and bounds in the plat thereof attached hereto as in Exhibit "A" and made a part hereof for all purposes;

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TERRELL, KAUFMAN COUNTY, TEXAS;**

**ARTICLE I.**

**THAT** the creation of a Planned Development, Highway Corridor Mixed Use (PD 21-01), is hereby approved under the provisions of §31A, Appendix 2, Zoning Ordinance of the City of Terrell on certain real property described as Lots 1 and 2, Block A, Tanger Addition to the City of Terrell consisting of a 43.24 acre tract of land out of the Ransom Sowell Survey, Abstract No. 443, Kaufman County, Texas and more particularly described by metes and bounds in the plat thereof attached hereto as in Exhibit "A" and made a part hereof for all purposes;

**ARTICLE II.**

All Ordinances or parts of Ordinances in conflict herewith are to the extent of such conflict hereby repealed.

### **ARTICLE III.**

It is hereby declared to be the intention of the City Council of the City of Terrell, Texas, that the sections, paragraphs, sentences, clauses and phrases of this Ordinance are severable and, if any phrase, clause, sentence, paragraph, or section of this Ordinance shall be declared unconstitutional by the valid judgement or decree of any court of competent jurisdiction, such unconstitutionality shall not effect any of the remaining phrases, clauses, sentences, paragraphs and sections.

### **ARTICLE IV.**

All other provisions of Appendix 2 not expressly modified by this Ordinance shall remain in full force and effect.

### **ARTICLE V.**

This Ordinance will take effect immediately after its passage and the publication of the caption, as the law in such cases provides.

**PASSED AND APPROVED** this the \_\_\_\_\_ day of April, 2021.

**PASSED AND ADOPTED** this the \_\_\_\_\_ day of April, 2021.

---

E. Rick Carmona, Mayor

Attest:

---

Dawn Steil, City Secretary

Approved as to form:

---

Mary Gayle Ramsey, City Attorney

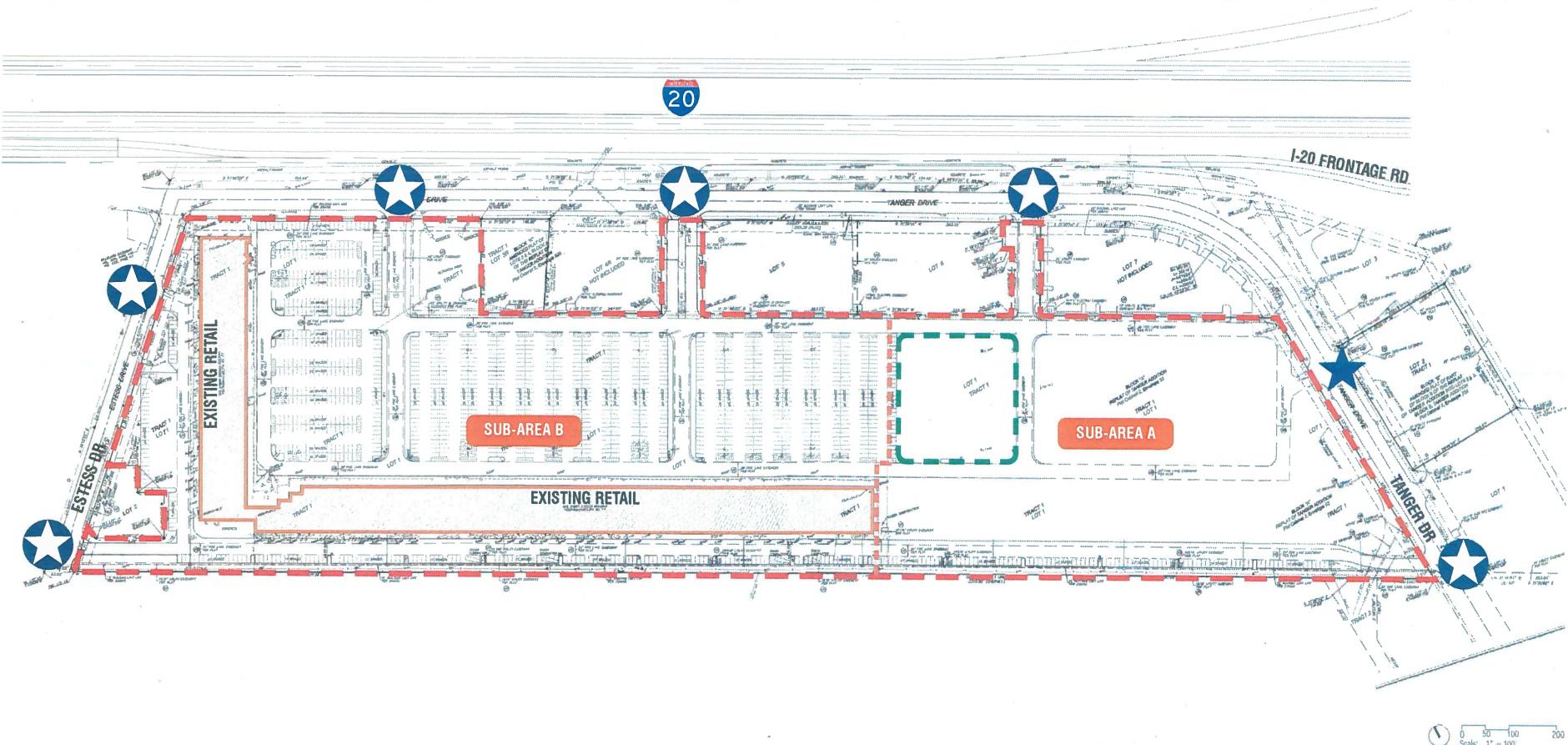
# Exhibit A

## DATA

SITE AREA: 42.8 AC  
USES: RETAIL AND MULTIFAMILY  
2 USES PER PD CONDITIONS  
DEVELOPMENT STANDARDS: PER PD CONDITIONS

## LEGEND

- ★ EXISTING ACCESS POINTS
- ★ PROPOSED ACCESS POINT
- GENERAL LOCATION OF COMMON AREA



OMNIPLAN

CONCEPT PLAN

THE SHOPS AT TERRELL

THE SHOPS AT TERRELL  
PLANNED DEVELOPMENT DISTRICT  
PROPOSED PD TEXT

**SEC. X- \_\_\_\_\_.** **PURPOSE**

The purpose of this Planned Development District ("District") is to permit the development of a mixed use village in Terrell fronting Interstate Highway 20 ("IH-20") and State Highway 34 ("SH-34"), pursuant to the goals the City of Terrell 2017 Comprehensive Plan.

## SEC. X- \_\_\_\_\_. **VISION & OBJECTIVES**

The vision for the District is to be a high quality mixed use village with a unifying theme. The District will offer unique living, entertainment, commercial and retail activities, a variety of job opportunities, residential uses, and a gathering place for the entire community. The proposed District will blend the existing retail uses into a mixed use development with a unifying entertainment and gathering place, which will be unique to the Terrell area.

## **The objectives for the District are:**

- (1) To provide opportunity for a high activity destination land use to anchor the District, such as an outdoor gathering place that offers opportunities for music performances, street fairs, or festivals, with supporting retail, food and beverage, and residential uses located in a cohesive pedestrian friendly development.
- (2) To accommodate a diverse range of commercial development types that will benefit from immediate proximity to IH-20, such as offices, large-format retail, local-serving retail, food, beverage and entertainment uses, and other commercial activities compatible with a mixed-use district.
- (3) To provide a mix of residential housing types, including low to mid-rise multi-family buildings, some with ground level commercial.
- (4) To create a network of landscaped public and private open spaces, sidewalks, plazas, and courtyards that are pedestrian-friendly and thoughtfully framed by the design and orientation of buildings so as to create a socially active, visually aesthetic and environmentally-responsive urban environment within the District and along the IH-20 frontage.
- (5) To have diverse building architecture while ensuring consistency in design elements to provide an architectural theme that unifies the District.

- (6) To position retail anchors in locations with optimal visibility and convenient vehicular access to IH-20.
- (7) To encourage mobile food and retail vendors and other pop-up activities in key pedestrian-oriented locations adjacent to areas with high levels of activity, or as interim uses.
- (8) To ensure adequate and convenient parking for the various uses in the District, while encouraging reciprocity and shared parking between businesses.
- (9) To encourage sustainable site development and building design that reduces energy consumption, improves air quality, mitigates noise, and reduces greenhouse gas emissions.

The vision and objectives for the District are reflected in a Conceptual Plan (Exhibit X-\_\_\_\_).

**SEC. X- \_\_\_\_.** **SUB-AREAS.**

The District is divided into two sub-areas:

- (1) **Sub-area A.** Sub-area A is intended to allow a mix of uses with a predominant residential component. This area should contain a high activity destination use/open space/lawn, along with supporting retail, restaurants, mobile vendors with an adjoining public pedestrian connection to Sub-area B, the existing retail. Design of buildings and vehicular connections should be human-scale and pedestrian-friendly. Vehicular dominant connections should be designed to avoid disruption of pedestrian paths and plazas.
- (2) **Sub-area B.** Sub-area B is intended to accommodate the existing primary retail development. Upgrades to the existing architecture should unify this Sub-area with the adjacent mixed use Sub-area. An architectural theme should be developed between the two Sub-areas to facilitate a seamless connection into a mixed use village.

**SEC. X- \_\_\_\_.** **DEFINITIONS AND INTERPRETATIONS.**

- (1) Unless otherwise stated, the definitions and interpretations in Appendix II – Zoning Ordinance apply to this article.

**BICYCLE SALES, REPAIRS AND HIRE**, means a shop with a primary purpose of selling, repairing or hiring bicycles and other related mobile personal transportation equipment, such as segues, skateboards, razor scooters, etc, and may include the associated sale of parts and accessories.

**DAY CARE CENTER, PET**, means a lot or premises on which dogs, cats or other domestic animals at least four months of age are accepted for daily care between the hours of

**6.00am and 9.00pm only, and may include trimming, grooming and/or bathing. The term does not constitute any premise providing overnight care or boarding of animals.**

**DIRECTIONAL SIGN**, means an incidental sign primarily designated to direct or provide guidance to District motorists or pedestrians on private property. Directional signs may be off-premise signs provided said signs are located on private property in the District.

**MOBILE FOOD UNIT**, means a vehicle mounted food product establishment designed to be readily movable (including but not limited to, catering trucks and pushcarts) from which food is distributed, sold or served to a consumer.

**MOBILE FOOD UNIT, GENERAL**. General service mobile food units include general service pushcarts and mobile food preparation vehicles. Mobile food unit, general includes motor vehicle food preparation vehicle and food truck and general service hot food trucks.

**MOBILE FOOD UNIT, LIMITED**. A mobile food unit from which prepackaged foods in individual servings, and beverages are served, sold or distributed. Mobile food units, limited include produce vendors, ice cream trucks, mobile grocery or lunch trucks, catering trucks or limited service pushcarts selling pre-wrapped, bottled or otherwise packaged sundries.

**PEDESTRIAN ORIENTED CONCESSION SIGN** means a sign displaying one or more subsidiary concessions to district pedestrians.

**PERFORMANCE VENUE, OUTDOOR**, means an outside area in which musical acts, performance arts, speeches and other forms of live entertainment are presented.

**PROGRAMMABLE DIGITAL DISTRICT SIGN**. A freestanding sign that advertises the district name and any business, activity, product, service or non-commercial message within the District. District signs may be digital or electronic message signs capable of displaying changing content through still, animated, scrolling or moving messages or images by remote or automatic means without the need to physically touch the sign face. The term includes signs that display messages or images by means of electronic or digital illumination such as cathode ray tubes, light emitting diodes, plasma screens, liquid crystal displays, fiber optics, lasers, and similar technology.

**PUBLIC ART**, means original works of art on display in the public realm that have been designed or created by a practicing professional artist. Original works of art may include (but are not limited to) sculptures, murals, photography, graphic art, water features, neon, glass and mosaics, and may be standalone, furnishings or fixtures, permanently affixed to buildings or building grounds. Public art may include artistically designed architectural or aesthetic features of a building or landscaping.

**RESTAURANT**, means a business establishment whose principal business is the retail selling of unpackaged food and beverages to the customer in a ready-to-consume state, in individual servings, or in non-disposable containers, and where the customer consumes these foods and beverages while seated at tables or counters located within the building. Such use includes cafes, lunchrooms, tea rooms, and may include the sale and on-premises consumption of alcoholic beverages as an accessory use comprising of less than 50 percent of gross sales.

(2) Definitions not expressly prescribed herein shall have the meanings contained in the specific regulations of other adopted ordinances of the City of Terrell, or in the absence of a definition in those ordinances, the meanings customarily attributed to common English language usage.

**SEC X- \_\_\_\_.** **EXHIBITS.**

The following exhibits are incorporated in this article:

(1) Conceptual Plan, Exhibit \_\_\_\_.  
(2) Legal Description \_\_\_\_.

**SEC X - \_\_\_\_.** **CONCEPTUAL PLAN.**

Development within the District must generally comply with the Conceptual Plan (Exhibit \_\_\_\_), which may be amended by a resolution of the City Council. If it is determined by the Building Official or Municipal Development Director that there is a conflict between the text of this article and the approved Conceptual Plan, the text of this article shall prevail.

**SEC X - \_\_\_\_.** **DEVELOPMENT PLAN.**

Prior to issuance of a permit for new construction, a development plan shall be approved by the City Council. A development plan must be in general conformance with the approved Conceptual Plan. In the event the City deems a proposed development plan does not substantially conform to the approved Conceptual Plan, amendment of the Conceptual Plan is required but can be simultaneously submitted and reviewed concurrently with the development plan application. Development plans may be approved individually for each lot, or collectively for multiple lots, provided each development plan phase is in general conformance with the approved Conceptual Plan.

SEC X-\_\_\_\_\_.

**MAIN USES.**

Those uses allowed in an R Retail District and uses allowed in an MF Multi-family District. Sub-area B is limited to those uses allowed in a R Retail District, while Sub-area A allows uses allowed in both an R Retail District and an MF Multi-family District. Non-residential uses located in a structure also housing residential uses are limited to the first floor (except home occupations) are limited to those uses allowed in an NS Neighborhood Services District including restaurant uses limited to a maximum floor area of 2,000 square feet. Non-residential uses are not limited to their time of operation.

SEC X-\_\_\_\_\_.

**TEMPORARY AND INTERIM USES.**

Approval of Temporary Uses., short-term and temporary uses may be approved either prior to and/or following development of land within a sub-area.

**(1) Permissible Temporary Uses.**

- Rental or sales office incidental to a new development, provided it is located within the development or a temporary structure.
- Temporary structures and uses incidental to the construction of a building, utility or infrastructure, group of buildings, or open space, including staging of construction materials and equipment.
- Mobile food and retail park.
- Booth for charitable, patriotic or welfare purposes.
- Exhibition, celebration, festival.
- Open air sales of agriculturally-produced seasonal decorations, including Christmas trees and Halloween pumpkins.
- Parking (either primary or accessory to other uses).

SEC. X-\_\_\_\_\_.

**GENERAL NON-RESIDENTIAL AND RESIDENTIAL PROVISIONS.**

**(1) Non-residential.** The following development standards apply to non-residential development:

- (a) **Minimum Lot Dimensions.** There is no minimum lot area, minimum lot width and minimum lot depth.
- (b) **Minimum Setbacks.** Buildings are permitted to have a zero setback to street boundaries and interior property lines, except in the following circumstances:
  - (i) Buildings in Sub-area B shall have a minimum setback of 50 feet from any property boundary fronting IH-20 and/or SH 34; and

- (c) **Maximum Lot Coverage.** There is no maximum lot coverage.
- (d) **Height.** The maximum height in Sub-areas A and B is 75 feet. Utilities and other non-habitable structures such as telecommunication wireless facilities are exempt from zoning height restrictions.
- (e) **Roof-top mechanical equipment** shall be allowed to extend to a height no greater than 12 feet above the roofline provided it is screened to avoid being visible from ground level.
- (f) **Outside Storage.** Outdoor storage is generally not permitted. In circumstances where outdoor storage is required based on the nature of the land use, it shall be located at the rear of a building and adequately screened so that no stored items are directly or clearly visible from the public right-of-way. Outdoor storage in front and side yards is prohibited.
- (g) **Outside Display.** Outside display of merchandise may be permitted within the boundaries of a lot provided it is within 20 feet of the main building, does not occupy any area required for pedestrian and vehicle access or vehicle parking, does not pose a safety or visibility hazard and is displayed in a neat, orderly, clean and litter-free manner.
- (h) **Refuse, Plant and Mechanical Equipment.** Refuse, plant and mechanical equipment shall not be visible from a public right-of-way and are prohibited between the main building and a public street. Refuse, plant and mechanical equipment shall be fully screened with a screening wall and constructed of like and similar materials to those of the primary structure

(2) **Multi-family Residential.** The following development standards apply to multi-family residential development:

- (a) **Size of lots:** Per MF District standards.
- (b) **Size of yards;**  
Generally, buildings are permitted to have a minimum street setback of 15 feet, and minimum side and rear setback of 10 feet. Buildings on lots that share a property line with the District perimeter shall have a minimum setback of 25 feet. The minimum spacing between buildings on the same lot is 10 feet where neither building has doors or window openings on the section of wall facing the property line, and 20 feet where either building has doors or window openings on the section of wall facing the property line.

- (c) **Maximum Lot Coverage.** The maximum lot coverage is 70 percent. Above ground parking structures are included in the lot coverage calculations. Surface parking lots or other impervious "flat work" predominately open to the sky are not included in coverage calculations.
- (d) **Maximum Building Height.** The maximum building height is 75 feet or 5 stories. The height is measured to the roof line with parapets or gable roofs excluded from the maximum height parameter.
- (e) **Minimum Floor Area per Dwelling Unit**
  - 1. Efficiency unit – Five hundred fifty (550) square feet per unit
  - 2. One-bedroom units – Six hundred (600) square feet per unit.
  - 3. Two- or more bedroom unit – Eight hundred (800) square feet for the first two (2) bedrooms, plus an additional two hundred (200) square feet for every bedroom over two (2) (e.g., three-bedroom unit must have 1,000 square feet, etc.).

SEC. X- \_\_\_\_.

#### OFF-STREET PARKING & LOADING.

- (1) **Calculation.** For purpose of calculating the required number of off-street parking spaces, this District is considered as one property. Shared and reciprocal parking between land uses is strongly encouraged.
- (2) **Required Parking.** The relevant off-street parking requirements of the Terrell Code of Ordinances shall apply to the District, except as follows:
  - (a) A minimum of one (1) parking spaces per bedroom for a multi-family dwelling unit with a minimum of 1.5 spaces per unit and a maximum 2.5 spaces per unit.
  - (b) A minimum of one (1) parking space per 250 square feet of gross floor area for medical or dental clinic uses.
  - (c) A minimum of one (1) parking space per 333 square feet of gross floor area for general or professional office uses.
  - (d) Parking is not required for mobile food units or accessory or incidental uses or activities.
- (3) **Parking Concessions.** For those properties containing uses with opposing peak parking demand, the Municipal Development Director may authorize a reduction of up to 15 percent of the sum of all parking required on the site, after submission, review, and approval of a parking generation study demonstrating that the reduction in parking would not have a negative impact on other surrounding properties or the District.

(4) **Loading.** Loading areas for non-residential uses shall be located at the side or rear of the main building, and conveniently accessible from an adjoining right-of-way. Loading spaces are not required for non-residential uses located on the first floor of a multi-story building containing residential uses.

SEC. X- \_\_\_\_.

**SIGNS.**

(1) **General Requirement.** Except as provided in this Section, signs are subject to the relevant signage regulations contained in the Terrell Code of Ordinances.

(2) **Programmable Digital District Signs.** A maximum of one (1) Programmable Digital District Signs are permitted in the District within Sub-area B only. The following standards shall apply to that sign:

- (a) Maximum sign height is 50 feet.
- (b) Maximum sign face area is 400 square feet.
- (c) The sign must be setback a minimum of 20 feet from the public right-of-way.
- (d) The sign is not permitted to be closer than 400 feet from a Freestanding Freeway Pole Sign.
- (e) The sign shall have sensors that automatically adjust brightness in response to changes in ambient light levels so that the signs are not unreasonably bright for the safety of the motoring public.
- (f) The sign may advertise any business, activity, product, service or non-commercial message within the District.
- (g) Each message displayed on the sign shall be a static display with no animation or special effects. Each message shall be displayed for a minimum of 8 seconds, and the transition between messages shall be instantaneous within one (1) second.
- (h) Except where authorized by a public authority, advertising messages displayed on the sign shall be designed so as not to be perceived to be:
  - (i) a traffic control signal, including the use of red, amber or green circles, octagons, crosses or triangles, etc.
  - (ii) providing public safety instructions to passing motorists, cyclists or pedestrians.

- (i) Freestanding Freeway Pole Signs. This District is limited to no more than two (1) freestanding freeway pole signs, which shall be located wholly on private property within Sub-areas A and B only and front either IH-20 or SH 34. The following standards shall apply to each sign:
  - (i) Maximum sign face is 300 square feet per side;
  - (ii) Maximum height is 40 feet;
  - (iii) Minimum ground clearance is 10 feet;
  - (iv) Only advertise any business, product, service or activity located in the PD or messages of a public service nature.
  - (v) The sign is not permitted to be closer than 400 feet from another Freestanding Freeway Pole Sign or Programmable Digital District Sign.
- (j) Pedestrian Oriented Concession Signs. Two Pedestrian Oriented Concession Signs are permitted in the District. Pedestrian Oriented Concession Signs must be setback a minimum of 10 feet from a property line, and are limited to no more than 9 feet in height and 50 square feet in sign face area with a maximum of three (3) sign faces (i.e. two-sided flat sign or triangular three-sided sign.)
- (k) Monument Signs. Each lot of record is permitted one (1) monument sign. For lots 5 acres or greater, a maximum of two (2) monument signs are permitted. For lots 10 acres or greater, a maximum of three (3) monument signs are permitted. In any case, no more than one (1) monument sign is allowed per driveway entrance to a lot. Monument signs shall not have a sign face greater than 80 square feet, and be a minimum of 7 feet above ground level.
- (l) Directional Signs. Directional signs are strongly encouraged. Directional signs are to provide wayfinding information directing motorists or pedestrians to destinations within the District. They shall follow a design style consistent with any overarching theme for the District, and may contain business logos and information provided the business information does not occupy more than 25 percent of the sign face area. Directional signs shall not exceed 3 feet in height and be no greater than 6 square feet in area. No minimum setback is required for directional signs provided said signs do not encroach into sightlines at street and driveway intersections.

## SEC. X-.

## LANDSCAPING AND FENCING.

- (1) On-site Landscaping. All on-site landscaping shall be per the Terrell Code of Ordinances (as amended).

SEC. X-\_\_\_\_\_.

**NOISE**

(1) The relevant sections of the Terrell Code of Ordinances relating to noise shall apply to the District.

SEC. X-\_\_\_\_\_.

**BUILDING DESIGN**

(1) Overarching Design Guidelines. The following are overarching guidelines for the design of buildings in the District. Specific design requirements for each development site shall be prepared by the developer and submitted with each development plan, and thereafter reviewed and approved by the City.

(a) Architecture should be generally consistent with that of a mixed-use village that includes residential and commercial, uses, and any District theme established by the developer in consultation with the Municipal Development Director. Specifically:

(i) Sub-area A should appear as a village of buildings, where diverse styles of architecture will be designed to work together in a compatible urban context. Streets, sidewalks, and landscape architecture should be scaled to the end user to encourage pedestrian traffic and ultimate enjoyment of the environment. Buildings in Sub-area A should create coherent and well-shaped adjacent public spaces to form a human scaled plaza.

(ii) Architecture in Sub-area B should complement anchor development in Sub-area A while allowing diversity in design, style and exterior building materials. Prior to the issuance of a certificate of occupancy for a maximum 100 multi-family dwellings or 30,000 square feet of non-residential floor area in Subarea A, the following improvements must be made to the exterior of the existing retail building located in Subarea B:  
an architectural feature/element that extends above the height of the existing retail building by a minimum of 10 feet and using the predominant building material and color of the main structure located in Sub-area A. this structure may be but is not limited to one or more of the following: clock tower, bell tower spire or artwork.  
Prior to the issuance of a certificate of occupancy for more than a total of 200 multi-family units or more than 40,000 square feet of non-residential floor area in Sub-area B: a landscaping must be added to the existing parking lot to create a pedestrian walkway from the western most retail uses to Sub-area B. this pedestrian walkway must be a minimum width of 6 feet and can cross through the existing parking lot but the walkway must be delineated through either a raised walkway and marked path at grade with the parking drive aisles.

- (b) In Sub-area A: Buildings facing an internal public plaza, internal drive which connects the two Sub-areas or a public street are to incorporate a minimum of four (4) of the following architectural elements: awnings or canopies; display windows; divided light windows; transoms; shutters; alcoves/porticos; recessed entries; ornamental window headers/lintels; quoins; distinctive lighting features; planters, fountains; benches for outdoor seating; dormers; varied roof heights; ornamental façade trims; bay windows; gable windows.
- (c) In Sub-area A: an open space/green with a minimum size of 20,000 square feet is required in the first phase of development. This open space must be bounded on a minimum two sides by public street or internal drive which connects the two Sub-areas; is furnished with paths, benches and open shelters; landscaping must consist of lawn and informally arranged trees and shrubs. The common space/green must contain a minimum of 60 percent turf or ground cover, the balance of the area may be a paved surface. Site trees must be planted at a rate of one large canopy tree per 2,500 square feet of area. The common area/green should be designed to facilitate community wide activities and have adjacent access to paved public parking areas and paved surfaces in order to facilitate mobile food units and other activities. Outdoor performance venue is allowed in this area.
- (d) Other required open space in Sub-area A: a minimum of 20 percent of the area in Sub-area A must be open space. For area to qualify as open space it must be open to the public or all residents in the facility where the space is located and be a minimum space of 500 square feet. This includes pools or other outdoor amenity space located in a multi-family even if the space is paved. This does not include parking areas but does include paved trails or walkways with a minimum width of 10 feet.
- (e) Buildings should be oriented to minimize the amount of blank wall facing a public street or pedestrian plaza. Sections of blank wall should not be wider than 15 feet.
- (f) No more than 75 percent of the façade wall, exclusive of fenestration, should have a single material or color.
- (g) Exterior building materials and colors are to be aesthetically pleasing and in keeping with a unified architectural theme within the District.
- (h) Glass should not comprise of more than 75 percent of the building skin.
- (i) Façade walls facing an internal public plaza, internal drive which connects the two Sub-areas or public street are to have one or more of the following:

- (i) Changes of color, texture or material, either diagonally, horizontally, or vertically, at intervals of not less 20 feet and not more than 200 feet.
- (ii) Changes in plane with a depth of at least 8 inches, either diagonally, horizontally, or vertically, at intervals of not less than 20 feet and not more than 200 feet.

(j) All electrically powered illuminating devices external to a building shall comply with the relevant sections of the Terrell Code of Ordinances (as amended). Lighting, for new construction should typically be hooded downlighting that is focused directly on the area that is intended to be illuminated. Unshielded uplighting is discouraged. .

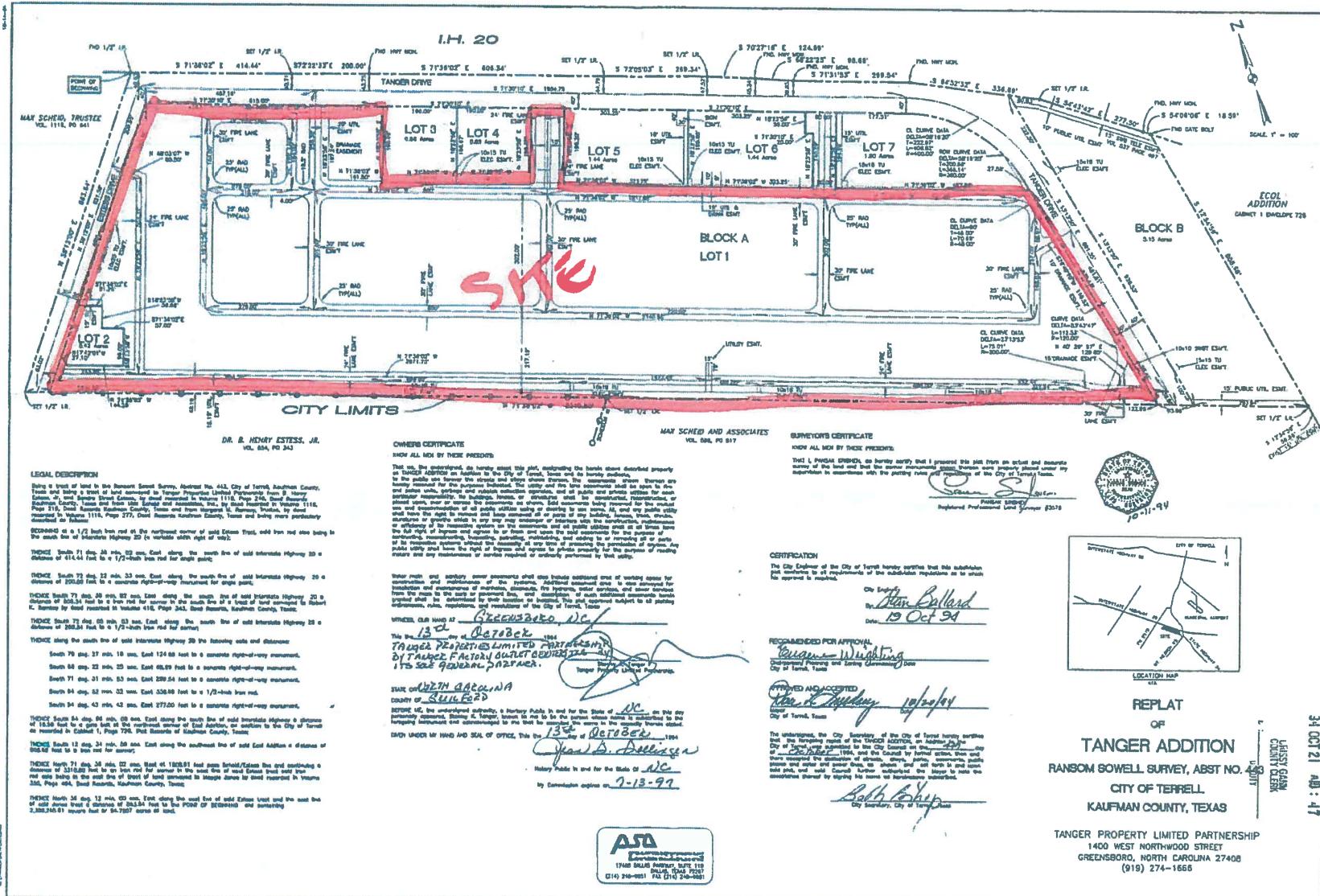
(k) Public art is strongly encouraged to be incorporated into the design of buildings and site landscaping, particularly for developments directly abutting areas with high-levels of pedestrian activity.

**SEC. X-\_\_\_\_\_.**

**VARIANCES.**

The regulations contained in article may be varied when such variance will result in improved design of the development and will permit desirable arrangements of structures in relation to parking areas, parks and parkways, pedestrian walks and other such features. Such variance may be provided for as a condition of the planned development permit granted pursuant to this article. Except as otherwise provided in the Comprehensive Plan or Zoning Code, no variance as to allowed density or land use shall be permitted.

2/92

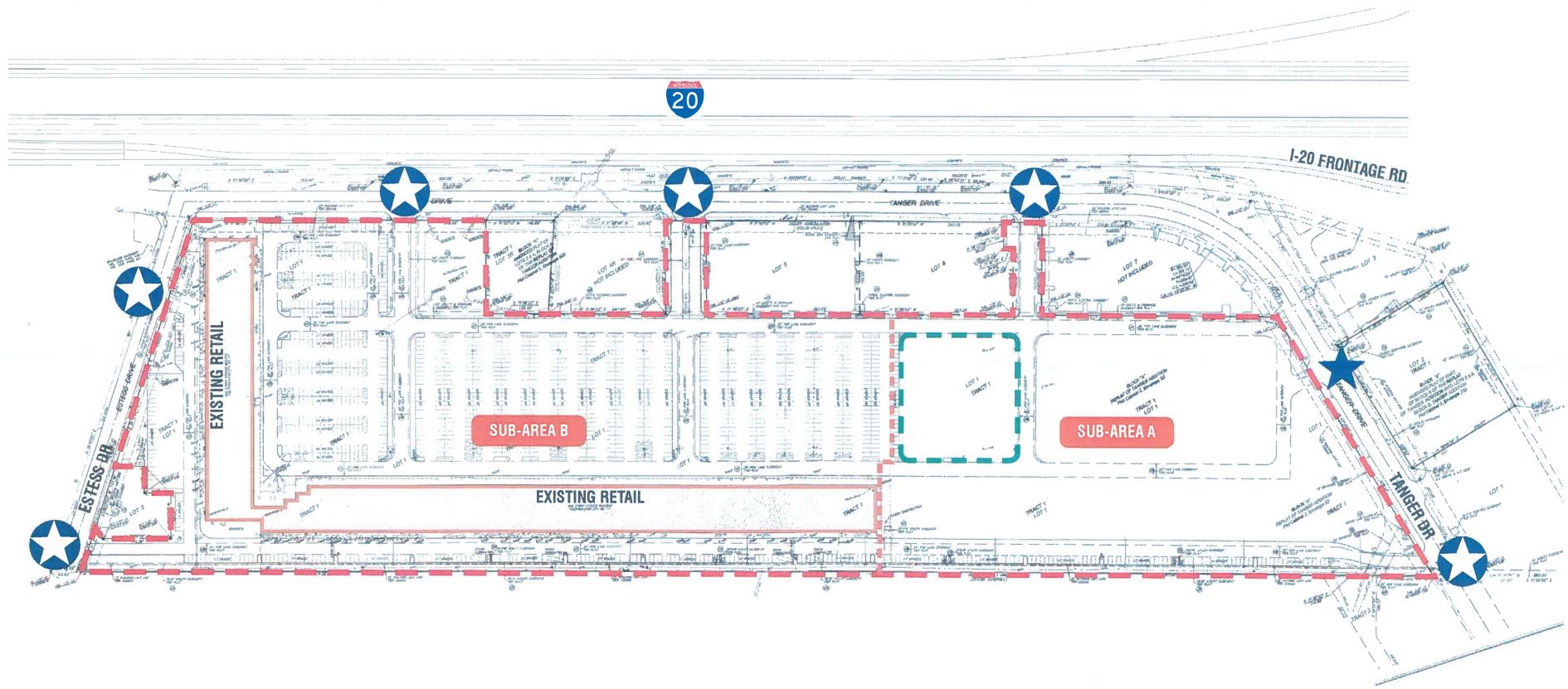


## DATA

**SITE AREA: 42.8 AC  
USES: RETAIL AND MULTIFAMILY  
2 USES PER PD CONDITIONS  
DEVELOPMENT STANDARDS: PER PD CONDITIONS**

## LEGEND

The legend consists of three entries: 'EXISTING ACCESS POINTS' with a solid blue star icon, 'PROPOSED ACCESS POINT' with a solid blue star icon, and 'GENERAL LOCATION OF COMMON AREA' with a dashed green square icon.

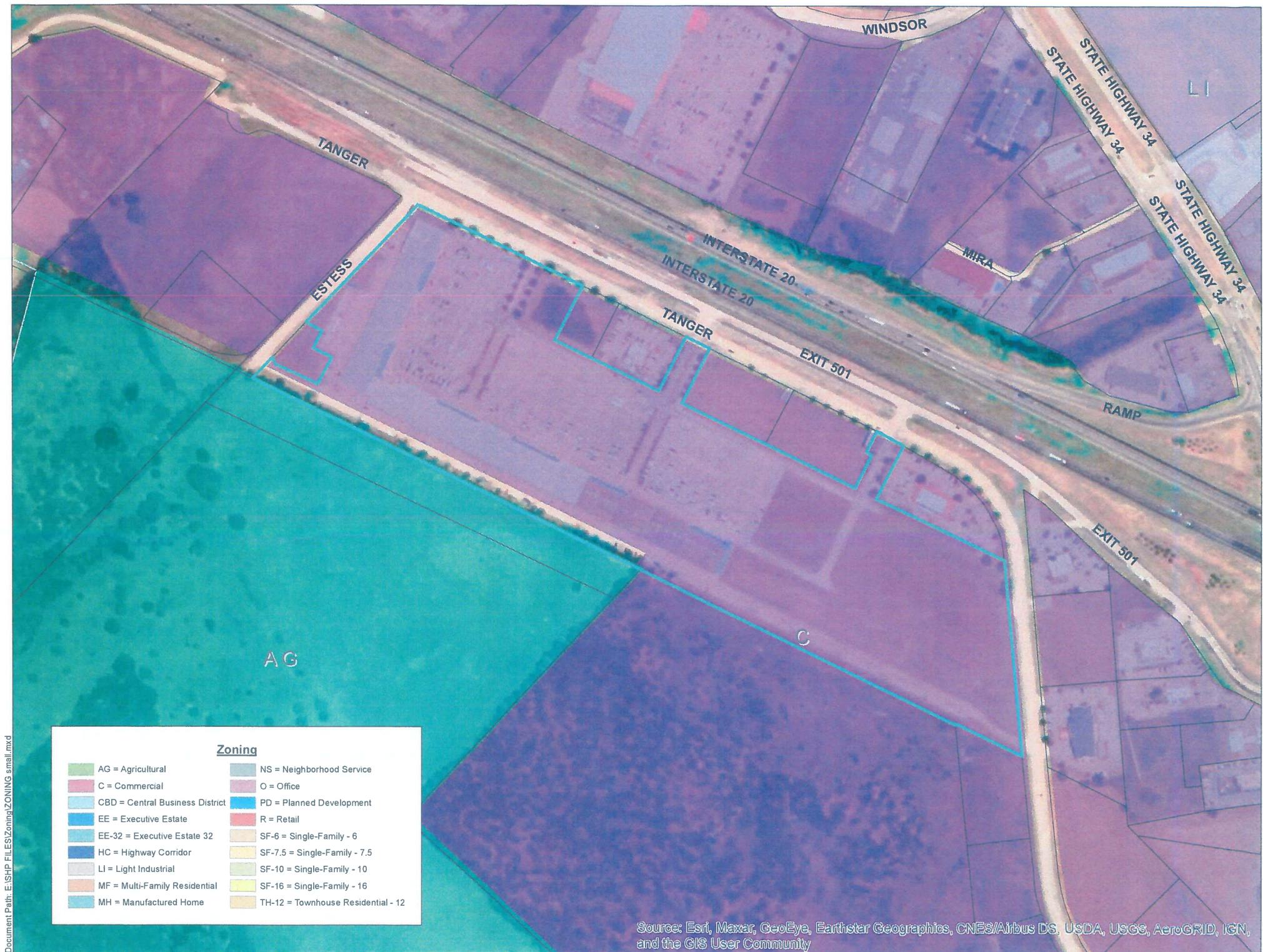


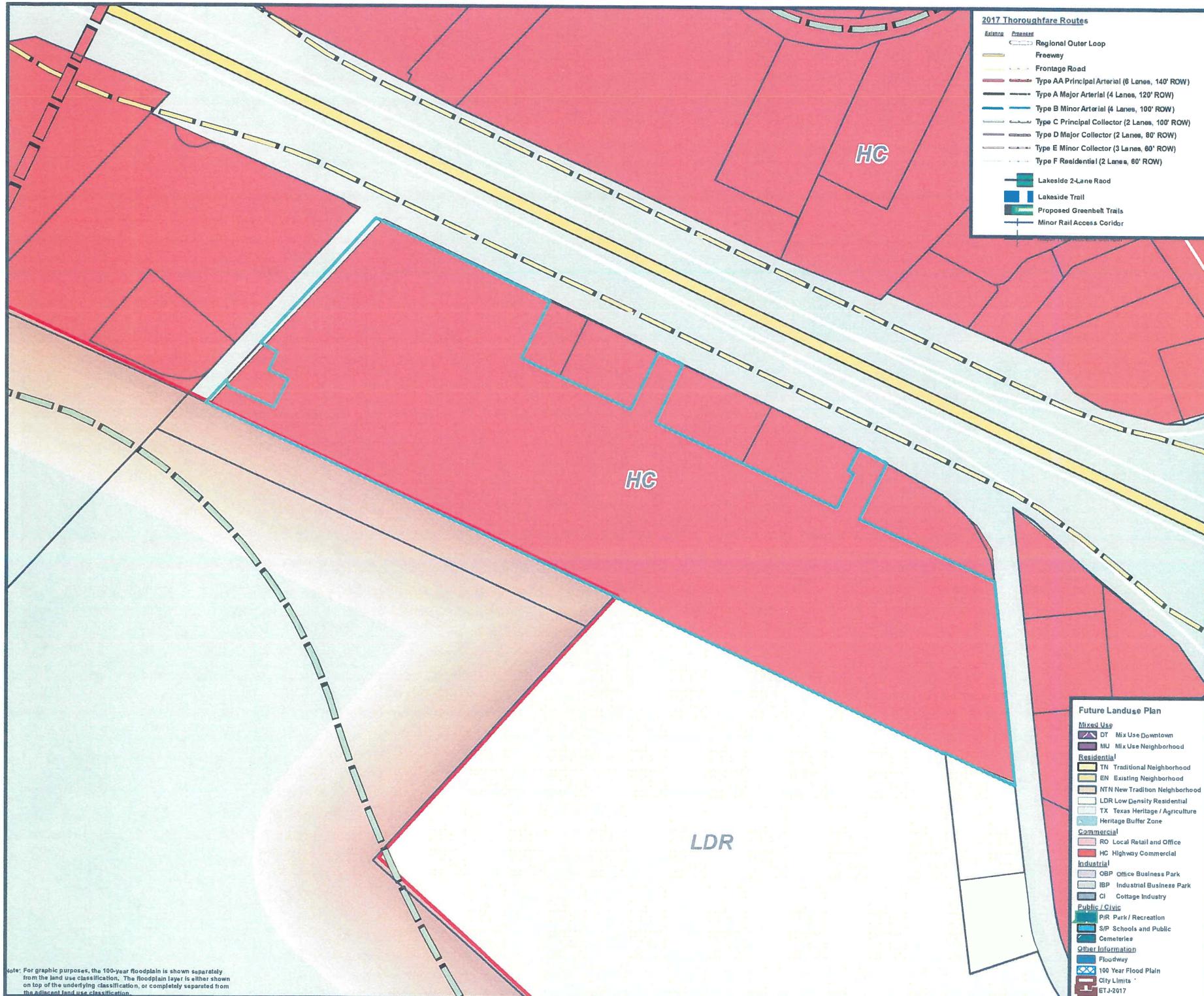
OMNIPLAN

## CONCEPT PLAN

THE SHOPS AT TERRELL





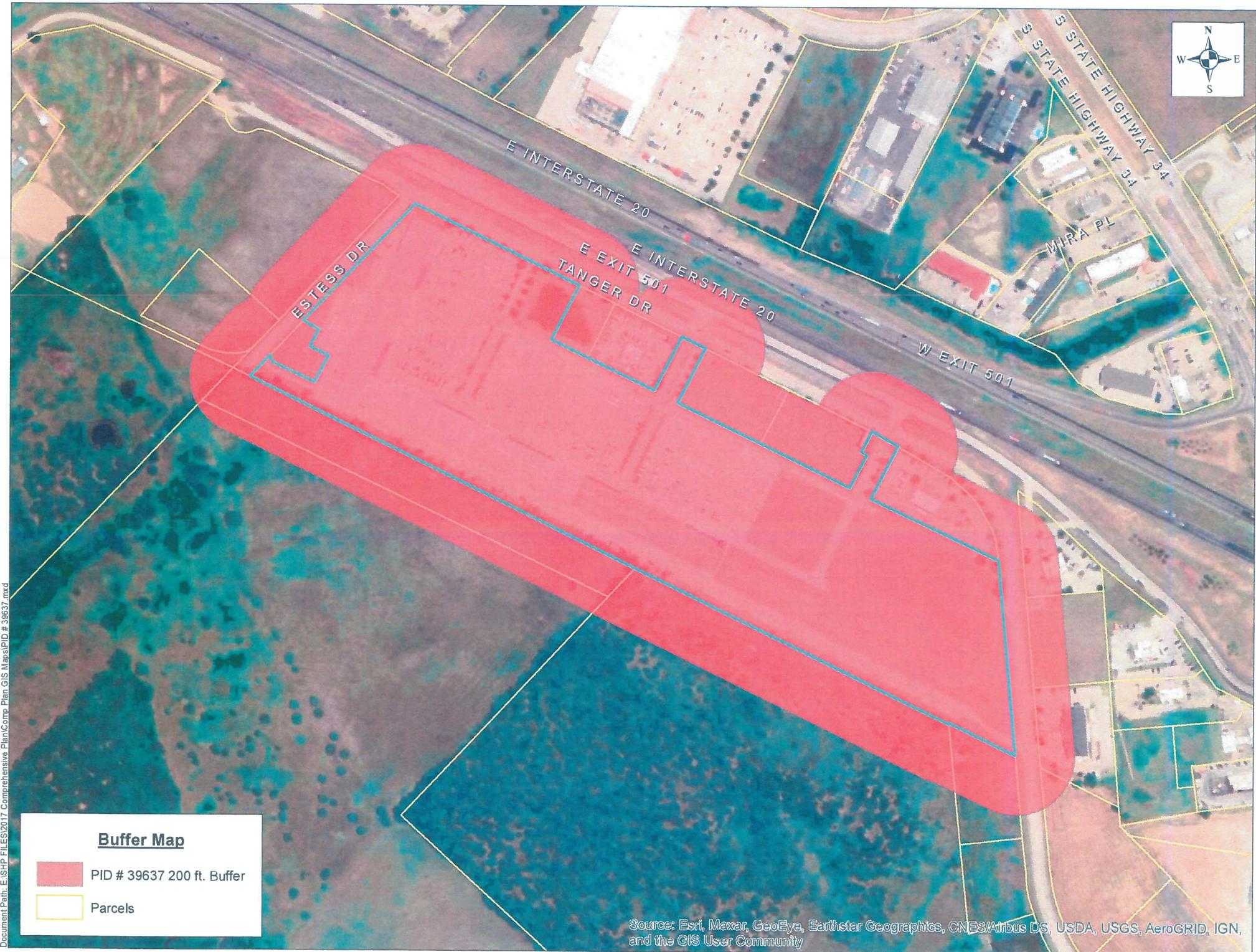


**City of Terrell**  
Future Land Use Plan





		Commercial / Retail		
Local Retail & Office		Highway Commercial		
<b>Purpose and intent</b> <ul style="list-style-type: none"> <li>To accommodate smaller scale, neighborhood serving commercial uses</li> <li>Key location of neighborhood commercial nodes: <ul style="list-style-type: none"> <li>Along intersections of local roadways</li> <li>In close proximity to new and existing neighborhoods</li> </ul> </li> <li>Commercial node would anchor adjoining multi-family residential transition areas and provide much needed neighborhood commercial services</li> </ul>		<b>Purpose and intent</b> <ul style="list-style-type: none"> <li>Regional scale retail and commercial uses that can take advantage of major regional roadway access and frontage (primarily IH 20)</li> <li>Located at major highway intersections to maximize access to the region and adjoining neighborhoods</li> <li>Potential to generate both ad valorem and sales tax revenue for the City, as well as job opportunities for residents</li> </ul>	 	
<b>Land use types and density</b> <ul style="list-style-type: none"> <li>Dense and connected network of streets</li> <li>One to three story buildings and incorporation of appropriate open/civic spaces and amenities</li> <li>Allow a range of small scale medical services and office related uses</li> <li>Allow a range of local serving retail, restaurants, personal services, and professional offices (as a transition to adjoining neighborhoods)</li> <li></li> </ul>		<b>Land use types and density</b> <ul style="list-style-type: none"> <li>Mostly large format retail with restaurants and entertainment uses or mid-rise office buildings</li> <li>May include lodging and related uses</li> <li>Range of medical related uses allowed</li> <li>May include professional offices as a transition to adjoining neighborhoods</li> <li>One to three stories generally; no specific height limits</li> </ul>	 	
<b>Design priorities</b> <ul style="list-style-type: none"> <li>Connectivity and convenience with respect to location next to residential neighborhoods for driving and walking</li> <li>Pedestrian focused streetscapes and site amenities</li> </ul>		<b>Design priorities</b> <ul style="list-style-type: none"> <li>Focus on minimizing the impact of a 'big box' look by articulating the building mass horizontally and vertically</li> <li>Allow a range of building materials: <ul style="list-style-type: none"> <li>Retail /restaurant: primarily masonry (brick, stone, stucco, synthetic stone)</li> <li>Office buildings: masonry, glass, and more flexible materials</li> </ul> </li> <li>Soften highway frontage with landscaping</li> <li>Allowing pedestrian mobility and safety</li> </ul>	 	
<b>Zoning Recommendations</b> <ul style="list-style-type: none"> <li>Establish design standards for neighborhood commercial development that provide pedestrian site amenities, shade, and connectivity between commercial uses and neighborhoods.</li> <li>Establish appropriate screening and buffering standards if located directly adjacent to single-family neighborhoods</li> </ul>		<b>Zoning Recommendations</b> <ul style="list-style-type: none"> <li>Ensure big-box articulation standards implement more attractive building facades along the highway frontages</li> <li>Establish appropriate building material standards</li> <li>Establish appropriate landscape standards for highway frontages and screening between commercial uses and any adjacent single-family neighborhoods</li> </ul>	 	





Dear Madam or Sir:

A public hearing will be conducted by the **Planning and Zoning Commission on Thursday, April 22, 2021, at 5:30 p.m. in the City Council Chambers and by the Terrell City Council at 7:00 p.m. on Tuesday May 18, 2021**, in the City Council Chambers, 201 E. Nash St., Terrell, Texas to receive public comments regarding the following:

Conduct a public hearing to discuss and consider approval of an Ordinance for a Planned Development (HC) Mixed Use District on all of Block A, Lots 1,2,5, and 6 and Block B, Lot 2 out of Tanger Addition, City of Terrell, Kaufman County, Texas. Also, known as 301 Tanger Dr. The property is located south of Interstate Highway 20 and just east of Highway 34. The property is currently zoned Commercial (C). (PD 21-01)

This notice is being sent to you because you own property within 200' of the property involved in this request. If you choose to attend this hearing, you will be given the opportunity to speak to the Planning & Zoning Commission in support or in opposition to the above request. **The City of Terrell will adhere to the current COVID-19 guidelines and only allow a very limited number of citizens into the meeting at a time to speak to the Commission in support or opposition to the request. Guests entering City buildings are required to wear face coverings.** All who attend will be given the opportunity to take a turn in the building for purpose of giving comments in person.

*Should you have any questions or need additional information please contact the City of Terrell, Municipal Development Department at 972-551-6600. Ext. 263*

*Sincerely,*

*J. Potts*

*Municipal Development Department  
City Of Terrell*

As a property owner within 200 feet of the property that is the subject of the above referenced case I am in

Favor

Opposition

for the following reasons:

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Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Letter Mail: 4/09/2021

**Please return to:**

City of Terrell

**Municipal Development Department**

P.O. Box 310 Terrell, TX 75160

## Parcel ID

PROP_ID	owner_name	addr_line1	addr_line2	addr_line3	addr_city	addr_state	addr_zip
12210	ESTESS FAMILY LIMITED PRTSHP		5315 S DENTWOOD DR		DALLAS	TX	75220
12211	ESTESS FAMILY LIMITED PRTSHP		5315 S DENTWOOD DR		DALLAS	TX	75220
12232	ALLRED JOHN III & LEOTA C		1033 CHARTRES		KAUFMAN	TX	75142
12306	GARCIA ERACLIO R ET AL		43055 U S 70		PORTALES	NM	88130
32238	GARCIA ERACLIO R ET AL		43055 U S 70		PORTALES	NM	88130
32240	MUSIC & MORE ENTERTAINMEN T LLC		43055 US 70		PORTALES	NM	88130-9035
39637	TANGER TERRELL LLC		3200 NORTHLINE AVE #360		GREENSBORO	NC	27408
39638	TANGER TERRELL LLC		3200 NORTHLINE AVE #360		GREENSBORO	NC	27408
39639	TANGER TERRELL LLC		3200 NORTHLINE AVE #360		GREENSBORO	NC	27408
39640	THORSEN LIVING TRUST		1535 DOROTHEA ROAD		LA HABRA HEIGHTS	CA	90631
39641	TANGER TERRELL LLC		3200 NORTHLINE AVE #360		GREENSBORO	NC	27408
39642	TANGER TERRELL LLC		3200 NORTHLINE AVE #360		GREENSBORO	NC	27408
39643	CARMONA S RESTAURANT	% RICKY CARMONA & LISA K	P O BOX 490		TERRELL	TX	75160
39644	TANGER TERRELL LLC		3200 NORTHLINE AVE #360		GREENSBORO	NC	27408
42661	LIFE POINT CHURCH UPCI INC		P.O. BOX 387		TERRELL	TX	75160
42662	ALLRED JOHN III & LEOTA C		1033 CHARTRES		KAUFMAN	TX	75142
160675	TXHP TERRELL	% STARWOOD	44 HERSHA		HARRISBURG	PA	17102

PROP_ID	owner_name	addr_line1	addr_line2	addr_line3	addr_city	addr_state	addr_zip
	LLC	CAPITAL GROUP GLOBAL LP	DRIVE				
175179	SCHULZ JOHN E TRUST & BIBLEHEIMER THOMAS Y TRUST		16418 SILVER SADDLE CT		POWAY	CA	92064-1922